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Item No. 5.1	Classification: Open	Date: 6 June 2023	Meeting Name: Planning Committee (Major Applications) A
Report title:	Development Management planning application: Application 21/AP/4194 for: Full Planning Application Address: MINERVA HOUSE, 5 MONTAGUE CLOSE, SE1 9BB Proposal: Redevelopment of existing building including partial demolition and two storey upward extension to create eight-storey Class E building with installation of roof terraces, associated highway and landscaping works, cycle parking, refuse storage including plant facilities at roof level.		
Ward(s) or groups affected:	Borough and Bankside		
From:	Director of Planning and Growth		
Application Start Date: 06 / 01 / 2022		PPA Expiry Date: 28 / 07 / 2023	
Earliest Decision Date: 28 / 07 / 2022			

RECOMMENDATIONS

1. That planning permission be granted subject to conditions, the applicant entering into an appropriate legal agreement, and referral to the Mayor of London.
2. In the event that the requirements of paragraph 1 above are not met by 6 December 2023, the director of planning be authorised to refuse planning permission, if appropriate, for the reasons set out in paragraph 157 of this report.

BACKGROUND INFORMATION

Site location and description

3. The existing building is 6-storeys (28m at its highest point) in addition to a basement level and is predominately in office use (11,075sqm GIA). The building contains a separate residential element which comprises of 12 flats, these would be unaltered by the proposed development. The current basement level contains 35 car parking spaces, which is accessed from Montague Close.

4. Aerial view

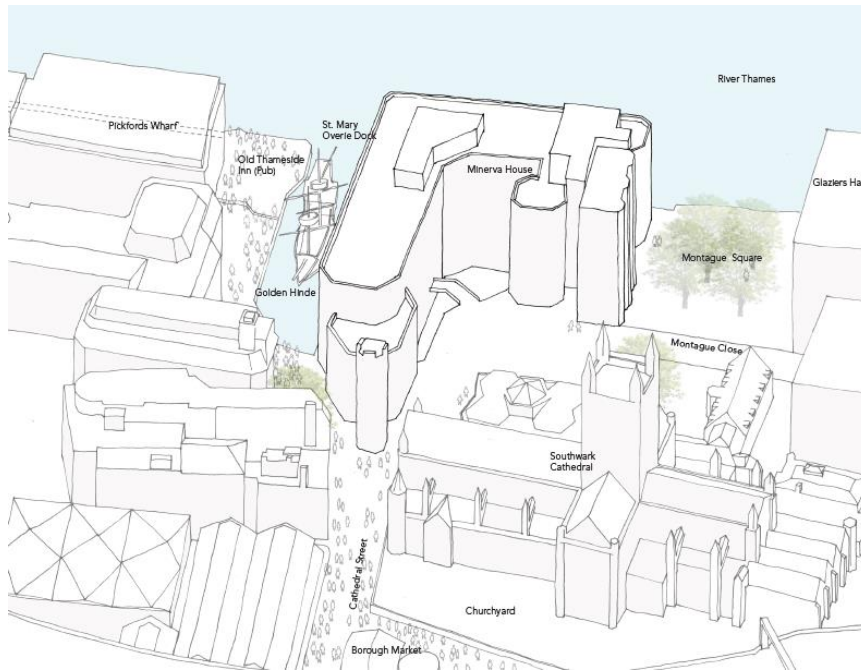


5. The site is subject to the following designations:

- *Borough High Street Conservation Area*
- *Southwark Cathedral – Grade I Listed*
- *Bridge House – Grade II Listed*
- *Glaziers Hall – Grade II Listed*
- *Street Bollards – Grade II Listed*
- *Central Activity Zone (CAZ)*
- *Bankside and Borough District Town Centre*
- *Bankside, Borough and London Bridge Opportunity Area*
- *Bankside, Borough and London Bridge Strategic Cultural Area*
- *Better Bankside BID*
- *Air Quality Management Area*
- *Thames Policy Area*
- *River Thames SINC*
- *Borough, Bermondsey and Rivers Archaeological Priority Zone*
- *Flood Zone 3*
- *PTAL 6B*
- *Controlled Parking Zone (CPZ)*
- *The background region of Protected View 2A.1 – Parliament Hill summit to St Paul’s Cathedral; and View 3A.1 – Kenwood viewing gazebo to St Paul’s Cathedral*
- *The Wider Setting Consultation Area of Borough View 2 (Nunhead Cemetery to St Paul’s Cathedral).*

6. The site lies within a busy central location and is surrounded by a mix of commercial and residential uses in buildings of various age, scale and design.

7. Surrounding site visual



Details of proposal

8. Redevelopment of existing building including partial demolition and two storey upward extension to create eight-storey Class E building with installation of roof terraces (at sixth, seventh, eighth and ninth floor level), associated highway and landscaping works, cycle parking, refuse storage including plant facilities at roof level.

Commercial

9.

Land Use	Existing GIA (sqm)	Proposed GIA (sqm)	Difference
Class E (Office)	12 328	18 760	+6432*

*10% of GIA uplift to be provided as affordable workspace

Carbon savings and trees

10.

Criterion	Details		
C02 savings	36.5% saving		
Trees lost	0 x Cat A	0 x Cat B	1 x Cat C
Trees gained	0 – although wider landscaping proposed		

Urban Greening

11.

Criterion	Existing	Proposed	Difference
Urban Greening Factor	n/a	0.3	n/a – however is compliant with meeting UGF target of 0.3

Public consultation

12. The public consultation process includes various forms of publicity through the Council Planning Register, site notices, neighbour letters and through Press Notices across the life cycle of this application. The Council website was regularly updated with information and residents were kept informed with updated from the Planning Department. The application received 209 contributions which included 201 objections and 5 comments in support of the development which are summarised below.

13. Supportive (5)

- *The development would provide suitable office space within a Central London location*
- *The design of the building is considered well against the backdrop of local heritage and the River Thames*
- *The provision of affordable workspace helps support Southwark businesses*
- *Mitigation- financial contribution to Southwark Cathedral allows them to keep continuing with important community work they undertake*

14. Objections (201)

Principle of development

- *Office and commercial development is not required within this area*
- *No Justification for the demand of office space*
- *COVID has increased remote flexible working and therefore the principle of development from previous policies is outdated*
- *The office commercial floorspace is not targeted for local businesses*

Design quality

- *Building design is too large in height and massing – dwarfing Southwark Cathedral and putting Borough market in shadows*
- *The design would severely impact the setting of the historic Southwark Cathedral*
- *The design shows no relationship to the historical SE1 area*
- *The scale of the building would harm the heritage of the area detrimentally, particularly the buildings relationship with Winchester Palace, Pickford's Wharf and Glaziers' Hall and Winchester Wharf warehouses.*

Daylight and sunlight

- *Detrimental impact upon daylight and sunlight amenity to residential premises surrounding the building*
- *The impact of light amenity to residential habitable bedrooms would be severe*

Overlooking and privacy

- *Impact upon privacy through overlooking from the building into residential flats*
- *The roof terrace would create a platform where people are able to view directly into other residential premises without restriction*

Noise pollution

- *Impact of noise during construction and disturbance from use of terrace*

- would create unreasonable harm in a residential area*
- *Noise from the plant equipment would not be acceptable, no details have been provided as to how this would be mitigated*
- *Disruption, noise and dust pollution from construction would be health risk*
- *The roof terrace would become an entertainment space for parties, sports events etc and thereby not considered to be ancillary to office facilities*
- *Increased height and orientation of existing building would exacerbate the noise tunnel effect which already exists*

Ecology and biodiversity

- *Biodiversity will suffer due to a lack of sunlight at ground level*

Other

- *Increase car deliveries and generated traffic would create pollution, the transport infrastructure around the site is not suitable for this increased traffic*
- *The streets surrounding the building are already very dark, the increased height would make these narrow streets even darker potentially raising safety risks for the public*
- *The proposal fails to demonstrate meaningful social regeneration*
- *Poor and inadequate public consultation*
- *The development would create anti-social behaviour due to increased drinking venues*
- *The development would create significant carbon impacts which would be irreversible*
- *The use of the building could easily be changed through permitted development rights, and therefore the Council would have limited control over it's use in the future*

15. You should generally summarise all objections irrespective of materiality. You can identify those that aren't material. You are the case officer reporting your view, you aren't the LPA.

Planning history of the site, and adjoining or nearby sites.

16. Any decisions which are significant to the consideration of the current application are referred to within the relevant sections of the report. A fuller history of decisions relating to this site, and other nearby sites, is provided in Appendix 3.

KEY ISSUES FOR CONSIDERATION

Summary of main issues

17. The main issues to be considered in respect of this application are:
- Principle of the proposed development
 - Affordable workspace
 - Environmental Impact Assessment
 - Quality of commercial floorspace (amenity roof terraces)
 - Design and heritage

- Archaeology
- Fire safety
- Impact of proposed development on amenity of adjoining occupiers and surrounding area
- Transport and highways
- Environmental matters, including construction management, flooding and air quality
- Energy and sustainability
- Ecology and biodiversity
- Planning obligations (S.106 undertaking or agreement)
- Mayoral and borough community infrastructure levy (CIL)

18. These matters are discussed in detail in the 'Assessment' section of this report.

Legal context

19. Section 38(6) of the Planning and Compulsory Purchase Act (2004) requires planning applications to be determined in accordance with the development plan, unless material considerations indicate otherwise. In this instance the development plan comprises the Southwark Plan (2022) and The London Plan (2021). Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires decision-makers determining planning applications for development within Conservation Areas to pay special attention to the desirability of preserving or enhancing the character or appearance of that area. Section 66 of the Act also requires the Authority to pay special regard to the desirability of preserving listed buildings and their setting or any features of special architectural or historic interest which they possess.
20. There are also specific statutory duties in respect of the Public Sector Equalities Duty which are highlighted in the relevant sections below and in the overall assessment at the end of the report.

Planning policy

21. The statutory development plans for the Borough comprise of the Southwark Plan (2022) and The London Plan (2021). The National Planning Policy Framework (2021) constitute material considerations but are not part of the statutory development plan. A list of policies which are relevant to this application is provided at Appendix 2. Any policies which are particularly relevant to the consideration of this application are highlighted in the report.

ASSESSMENT

Principle of proposed development

22. The application site is located within the CAZ (Central Activity Zone) and the Bankside, Borough and London Bridge Opportunity Area. Policies SD1 (Opportunity Areas), SD4 (The Central Activity Zone) and SD5 (Offices, other strategic functions and residential development within CAZ) of The London Plan (2021) and; policies P30 (Office and business development) and P31 (Affordable Workspace) of the Southwark Plan (2022) identify sites within Opportunity Areas

and the CAZ as appropriate for accommodating significant growth to meet commercial business demand for inner London. The CAZ is recognised as a significant office location (CAZ SPG 2016) which predicts a need for 177,000 additional office jobs and 2.3 million sqm of office floor space between 2011 and 2031. Southwark Plan Strategic Policy SP4 (Green and inclusive economy) seeks to deliver at least 460,000 sqm of new office space over the plan period (equating to c.35,500 jobs) and 80% of these new office premises to be delivered within the CAZ.

23. Policy E1 (Offices) of The London Plan (2021) supports improvements to the quality, flexibility and adaptability of office space through new provision, refurbishment and mixed use development. This provision should be focussed in town centre locations or within existing office clusters that are well connected by public transport. Whilst the site is located outside of a town centre location, policy P30 (Office and business development) of the Southwark Plan (2022) protects against the loss of existing employment floorspace within the CAZ. In addition, the Bankside, Borough and London Bridge Opportunity Area identifies this zone as suitable for delivering new offices and employment floorspace. Therefore, the additional office floorspace would contribute to meeting this identified growth opportunity in the Southwark Plan (2022).
24. These policies require developments to, at the very least maintain the existing levels of business floorspace – but where possible maximise the opportunities to increase floorspace whilst also bringing forward a mixture of other complimentary uses to enhance the officer, vitality and long-term vibrancy of inner London. The existing building comprises of c12,300 sqm of commercial floorspace. This proposal seeks to increase this floorspace by approximately 6400 sqm, which is considered acceptable.
25. The existing 12 dwellings are not part of these development proposals on the site . While the proposal does not include additional residential development, the site does appropriately maximise commercial use which complements the cluster of surroundings buildings and uses, and is appropriate in this part of the CAZ.

Affordable workspace

26. Policy E2.D (Providing suitable business space) requires proposals for new employment business floorspace greater than 2500 sqm (GEA) to provide a proportion of flexible working space suitable for micro-small and medium sized enterprises. Policies E3 (Affordable Workspace) of The London Plan (2021) and P31 (Affordable Workspace) of the Southwark Plan (2022) provide the principle of affordable commercial premises being created/available for developments of this scale.
27. P31 (Affordable Workspace) of the Southwark Plan (2022) outlines at least 10% of any uplift in office floorspace should be dedicated as affordable workspace. In order to ensure the space is attractive to potential occupiers, the following should be agreed:
 - *Deliver at least 10% of the proposed ground employment floorspace as affordable workspace on site;*

Environmental Impact Assessment

31. The Town and Country Planning (Environmental Impact Assessment) Regulations 2017 set out the circumstances in which development must be underpinned by an Environmental Impact Assessment (EIA). Schedule 1 of the Regulations set out a range of development, predominantly involving industrial operations, for which an EIA is mandatory. Schedule 2 lists a range of development for which an EIA might be required on the basis that it could give rise to significant environmental impacts.
32. Schedule 3 sets out that the significance of any impact should include consideration of the characteristics of the development, the environmental sensitivity of the location and the nature of the development
33. The range of developments covered by Schedule 2 includes 'Urban development projects' where the area of the development exceeds 1 hectare which is not dwellinghouse development or the site area exceeds 5 hectares.
34. The application site less than 5 hectares and therefore does not exceed this threshold. Consideration, however, should still be given to the scale, location or nature of development, cumulative impacts and whether these or anything else are likely to give rise to significant environmental impacts. The proposed application is an extension of an existing commercial site. Its scale is appropriate to its urban setting and it is unlikely to give rise to any significant environmental impacts.
35. It is considered that the construction and environmental impacts of the proposal would not amount to EIA development and are adequately assessed and mitigated by way of the technical reports submitted as part of the planning application.

Quality of commercial floorspace (and amenity of roof terraces)

36. The development proposes to deliver 18,750 sqm GIA of high quality, flexible commercial office floorspace. 10% of the uplift (equating to 643sqm) would be designated as affordable office workspace, which is required to encourage enterprise and ensure all residents and local businesses benefit from economic growth. The redevelopment of this building would significantly upgrade the existing premises into a modern up to date office suitable for a variety of different businesses. The developments environmental performance would be much enhanced contributing to the councils commitment to addressing climate change. The communal roof terraces would provide additional amenity space for the building users in creating a high quality environment.

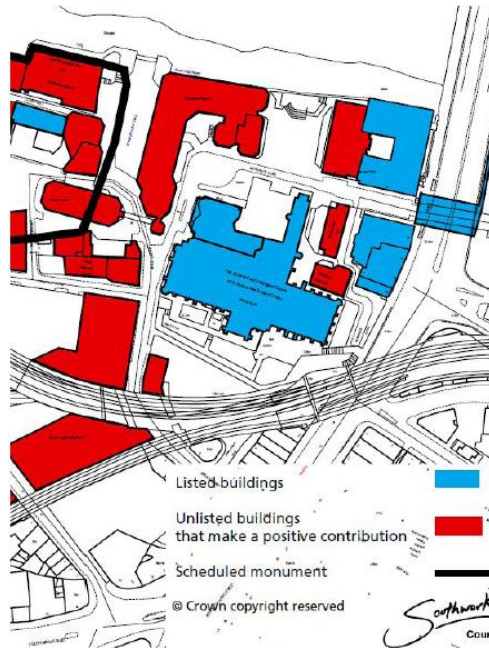
Design and Heritage

Site context

37. The proposal is for the retention, extension and alteration of an existing mixed-use modern block on a river-front site. The development affects only the

commercial part of the building and proposes the vertical extension of the building adding 3 new floors of accommodation. The elevations onto the River and the area facing onto the Golden Hinde Dock will be preserved and extended. The southern wing as well as the southern façade facing onto Montague Close will be stripped of its cladding, extended forward to align more closely with the residential block and finished in a new stone and brick cladding. A new pedestrian route is proposed under the southern wing connecting Montague Close to Cathedral Street. The topmost two new tiered floors of commercial accommodation are designed in a modern, predominantly glass and metal finish.

38. Listed and unlisted buildings within site vicinity



Heritage assets

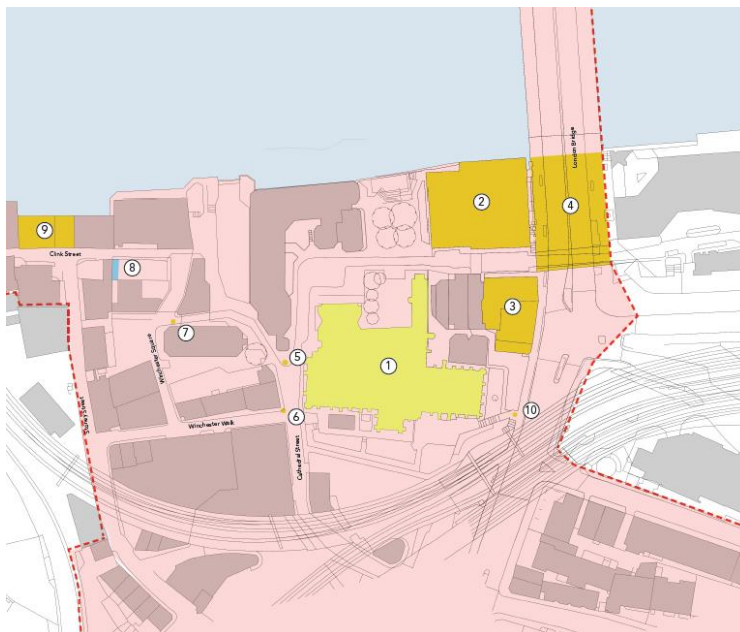
- 39. The property is not statutory listed but it is located in the Borough High Street Conservation Area and immediately adjacent to the Grade I Listed Southwark Cathedral.
- 40. Other listed buildings in the immediate area include the Grade II Listed Glaziers Hall, Nos 4, 6 8 and 10 Borough High Street. Within 100m of the site the Grade II* listed Remains of Winchester Palace and the Grade II listed buildings include the Grade II listed London Bridge, the Globe Public House on Bedale Street and Winchester Wharf on Clink Street.
- 41. The proposal, due to its scale and massing will affect the settings of a number of statutory listed buildings and the character and appearance of the conservation area.





Heritage assessment

- 42. Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires local planning authorities to consider the impacts of a development on a listed building or its setting and to pay special regard to the desirability of

preserving the building or its setting or any features of special architectural or historic interest which it possesses.

43. Chapter 16 of the NPPF contains national policy on the conservation of the historic environment. It explains that great weight should be given to the conservation of heritage assets. The more important the asset, the greater the weight should be (paragraph 199). Any harm to, or loss of significance of a designated heritage asset should require clear and convincing justification (paragraph 200). Pursuant to paragraph 201, where a proposed development would lead to substantial harm or total loss of significance of a designated heritage asset, permission should be refused unless certain specified criteria are met. Paragraph 202 explains that where a development would give rise to less than substantial harm to a designated heritage asset, the harm should be weighed against the public benefits of the scheme. Paragraph 203 deals with non-designated heritage assets and explains that the effect of development on such assets should be taken into account, and a balanced judgment should be formed having regard to the scale of any harm or loss and the significance of the asset. Working through the relevant paragraphs of the NPPF will ensure that a decision-maker has complied with its statutory duty in relation to Conservation Areas and Listed Buildings.
44. Development plan policies (London Plan Policy HC1 and Southwark Plans Policies P19, P20 and P21) echo the requirements of the NPPF in respect of heritage assets and require all development to conserve or enhance the significance and the settings of all heritage assets and avoid causing harm.
45. Taking each of the heritage assets in turn a decision-maker is required to consider whether there is any harm arising, a better understanding of the nature and order of that harm and whether there are any mitigating factors arising as a consequence of the development.
46. Heritage plan



-  Grade I Listed Building
-  Grade II* Listed Building
-  Grade II Listed Building
-  Borough High Street Conservation Area (LB Southwark)



Southwark Cathedral and nearby listed buildings

47. Southwark Cathedral is the 'crown jewel' of the borough and at Grade I is a heritage asset of the highest significance. Any harm to this property and its setting should be wholly exceptional and would be resisted. The existing building is located at the river's edge and replaced a number of former Victorian warehouses (Hibernia Wharf), demolished in the 1980s to widen the space to the north of the Cathedral and, for the first time establish a visual link between the River and the Cathedral at Minerva Square.
48. In the main the Cathedral is experienced in this location from Montague Close with the existing Minerva House behind the viewer from most angles. The southern wing of the building comes into views of the Cathedral especially where Montague Close bends southwards. The existing building does not interfere with views of the Cathedral either from Montague Close or Cathedral Street. It follows the historic street pattern of the area and remains low especially closest to the Cathedral where it remains below its parapet edge, deferring in its scale to its more significant neighbour.
49. The proposal preserves the form and structure of the existing building and includes re-cladding the existing concrete frame with a new brick and stone façade. The two added storeys are located mainly over the north wing of Minerva House closest to the river and do not intrude on any view of the Cathedral from its immediate surroundings. In this way and in the immediate context as it is experienced from Montague Close the setting of the Cathedral is largely preserved and there is no harm arising as a consequence of the proposed design. Further, the cathedral's immediate setting is enhanced to a degree by the new landscaped square replacing the parking on Montague Close.
50. When viewed from the river the setting of the Cathedral and its significance to Southwark is apparent. Its stone tower capped with four spires is a prominent landmark visible to varying degrees and from many vantage points along the River and its crossings especially in the area between London Bridge and Cannon Street Bridge. Here the gap created on the River frontage by Minerva Square contributes positively to the viewer's appreciation of the Cathedral and cements the Cathedral's link to the River. Whilst from many locations the views of the tower may be fleeting or interrupted by rooftop structures, the view through the 'gap' allows the viewer to appreciate the architectural and historic significance of the Cathedral in full. The significance of the Cathedral and its setting in the urban environment of Borough is greatly enhanced by the Miverva Square 'gap'.
51. In this location the north bank of the River includes the Hanseatic Way, a short

stretch of the River frontage from which the public is able to appreciate the historic River frontage of Southwark. The top of Cathedral's tower and its spires are visible from the Hanseatic Way over the roof of the current Minerva House. These are transient views giving the viewer a sense of the Cathedral beyond including glimpses between roof-top equipment and plant. The added floors proposed will raise the silhouette of Minerva House and will curtail views of the Cathedral tower from Hanseatic Way.

52. A series of dynamic views of the Cathedral from the north bank were tested by the Applicant and submitted to the council. These views demonstrate that the spires of the Cathedral tower will remain visible for the full length of Hanseatic Way and the 'gap' view of the Cathedral at Minerva Square is unaffected by the vertical extension of the building. The views from Hanseatic Way are not protected in any way and do not have a status at the moment. Nonetheless the two added floors are likely to introduce some limited harm to the viewer's appreciation of the Cathedral from these locations. The harm is limited to around 100m of Hanseatic Way where only the spires are visible and before the tower comes fully into view. This is at the lowest order of 'Less than Substantial' harm and can be considered in the balance capable of being justified by the public benefits arising from the development.

Grade II Listed – Glaziers Hall no's 4, 6, 8 and 10 Borough High Street

53. This group of Listed Buildings face onto the London Bridge approach where they form a coherent historic group of commercial properties leading from the Cathedral steps to the River edge. Their significance is appreciated primarily from London Bridge, Duke Street Hill and the river itself.
54. Glaziers Hall and No 4 Borough High Street have been substantially extended to the rear and means that any appreciation of their significance from Montague Close or Montague Square is severely curtailed. The views submitted with the Application demonstrate that the additional floors on Minerva House will not cause any harm to these listed buildings or their settings. Minerva House is currently visible for a short distance on London Bridge itself and when viewer is aligned with Montague Close. From this location the building is visible in the distant backdrop and beyond the modern extensions to the rear of each of the listed buildings.

Grade II* Listed – Remains of Winchester Palace

55. This nationally important heritage asset is also an Ancient Scheduled Monument placing it at the highest order of significance and where any harm should be wholly exceptional. The remains of the Palace are best appreciated from Clink Street especially travelling westward (away from the site) when the viewer is able to appreciate the main hall of the Palace and its rose window which is preserved on the surviving west wall. In the eastern approach along Clink Street the Rose window is equally impressive and can be appreciated. In this approach Minerva House can be glimpsed at the eastern end of Clink Street. Between the Palace and Minerva House is Palace House, constructed in the 1980s which ensures that Minerva House will not intrude into the immediate setting of the Palace remains. The information submitted with the Application demonstrates

that there is no impact on the significance of the Grade II* listed Remains of Winchester Palace or its setting.

Borough High Street Conservation Area

56. Minerva House is located in Sub-Area 3 - Riverside - of the Borough High Street Conservation Area. Minerva House itself is considered to be a positive contributor to the conservation area and maintains the general scale of the riverfront without the architectural character of the earlier buildings. The Appraisal notes that development around Minerva House "has opened up an excellent axial view from the north embankment of the river to the Cathedral tower."
57. This part of the conservation area is characterised by the commercial character and its close proximity with the River frontage with 4, 5 and 6-storey wharfs and warehouse buildings enclosing the street.
58. Minerva House is described as an undistinguished modern building which provides important containment for St. Mary Overie's Dock and Montague Close. With the modern rear wing of Hibernia Chambers, it also frames the new square onto the riverside at Montague Close.
59. The development will introduce a modern top to the five-storey tall Minerva House. The scale of the addition is relatively modest overall and the design ensures that each added floor is set-back in a tiered arrangement to limit its visibility from the immediate surroundings. The views submitted with the Application demonstrate that the development will be most visible on the axial view along Cathedral Street and in Montague Close itself.
60. The view from Cathedral Street, flanked by Borough Market and Winchester Walk, is a key approach to Southwark Cathedral and one of the most significant parts of the conservation area. The Cathedral is the heart of the Sub-Area and from this location its presence, including its preserved churchyard are best appreciated. The current Minerva House does not detract from this. Its L-shaped form preserves the character of the conservation area by enclosing the street. In this way Minerva House encloses the view and encourages the viewer to continue round the Cathedral and forms a subservient backdrop to Cathedral.
61. The proposed design seeks to preserve this effective enclosure of the street retains the form of the building that contributes so positively to the conservation area and the setting of the Cathedral. The projecting southern wing of Minerva House is preserved and re-clad. No additional height is proposed in this location and the added floors are set back and tiered away from this prominent edge of the development.
62. In Montague Close the additional floors will be most visible although these are set-back on each successive storey and the step back from the prominent southern wing means that the development is less overt when viewed from this location. Indeed the most significant feature of this part of the conservation once again, is the Cathedral, and from Montague Close the development will not affect the viewer's appreciation of its significance or its setting at the heart of the conservation sub-area.

63. Whilst the development preserves the form of Minerva House, its vertical extension, insofar as it will introduce a modern feature into the conservation area which will be visible especially from Cathedral Street, Clink Street and Montague Place. This visibility will introduce a limited amount of harm considered to be at the lowest order of 'Less than Substantial' because the overall form of Minerva House and its positive contribution to the conservation area are largely preserved. In the context of the conservation area as a whole it is considered that the limited harm arising to the heritage asset overall can be considered in the balance.
64. The preserved form of Minerva House, the appropriate choice of stone and brick cladding and the deliberately set-back and terraced design of the added floors, will preserve the contribution of Minerva House to the conservation area and ensure that the significance of its key heritage assets, the Cathedral, Borough Market and the Remains of Winchester Palace, are unaffected.

Conclusion on Heritage

65. By preserving and extending the existing Minerva House this proposal seeks to conserve the historic environment. The vertical extension, made up of one added floor in brick and two set-back floor in metal and glass, introduce a sensitive and recessive optimisation of the site without causing excessive harm to this sensitive historic setting. The NPPF places great weight on the conservation of the historic environment requires decision-makers to avoid harm.
66. Where harm has been identified the NPPF states in paragraph 202 that: "Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use".
67. In this case the heritage assessment has identified the lowest order of Less than Substantial harm in the impact of the development on the setting of the Grade I Listed Southwark Cathedral, affecting some views from Hanseatic Way, as well as the lowest order of Less than Substantial harm to a Sub-area 3 of the Borough High Street Conservation Area due to its limited visibility from Clink Street and Cathedral Street. The public benefits in this case to be considered in the planning balance include the high quality design of the re-clad and extended Minerva House, the new route and landscaped public square in Montague Close, as well as the affordable workspace aimed at small and medium-sized enterprises in Southwark. When the limited order of harm is considered in the balance it is considered that the public benefits provide the clear and convincing justification for the development sufficient to satisfy the test in the NPPF.

Strategic Views

68. Minerva House is included in LVMF View 12B.1 the river prospect downstream from Southwark Bridge. The guidance on this view notes the limited quality of this view which is truncated by the Cannon Street railway bridge but recognises that this "view of Southwark Cathedral, set between the tall buildings in the

London Bridge cluster, is of significance."

69. The proposed vertical extension of Minerva House was tested and adjusted at the pre-app stage to avoid impacting on this view of the Cathedral tower and resulted in the step back in height away from the southern wing closest to the Cathedral. The LVMF requires development to "preserve an appropriate relationship between the Cathedral and the developing cluster of tall buildings at London Bridge." The TVIA submitted with the application demonstrates that this important view of the Cathedral is unaffected by the development and the proposal thus conforms with the guidance in the LVMF.

70. LVMF 12B.1 view



Existing view LVMF River Prospect View 12B.1 Southwark Bridge



Proposed view LVMF River Prospect View 12B.1 Southwark Bridge

71. LWMF 11A.1



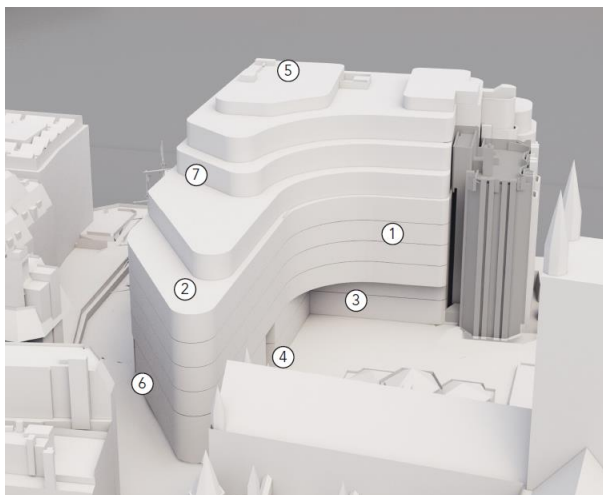
Existing view from London Bridge



Proposed view from London Bridge

Urban Design – Height, scale, massing and arrangement

72. Final massing



73. The proposal retains the L-shaped footprint of the existing building and seeks to optimise its site by infilling the courtyard at the front of the building (on Montague Close) and extending vertically. The most apparent change will be to the southern wing where the current bull-nosed stair core and tower are replaced by a retail space at the ground floor with office accommodation above and a pedestrian cut-through connecting Montague Close to Cathedral Street. At the top the proposal includes 3 new floors which have been set-back from the brick façade and stepped away from the Cathedral and the river.
74. At the ground floor a new pedestrian route is introduced across the south wing to offer a direct connection between Montage Close and Cathedral Street to the west. The route across is intended to remain open to the public at all times. It is generous (double-height) at either end, almost 9m wide and intersected by a bridge-like connection at 1st floor level to allow for passive surveillance from the offices above. This route is entirely consistent with the character of the Borough High Street Conservation Area and will enable visitors to permeate naturally across the site from Montague Close to Clink Street in a way that is not possible currently.
75. The height scale and massing is measured and retains the established building line. The court between Minerva House and the Cathedral (currently devoted to parking) is proposed to be landscaped including mature planting and trees to complement the Cathedral Garden and contribute positively to the green infrastructure of the area. In conclusion, it is considered that the proposal's height, scale, massing and arrangement comply with council's policies on urban design and ensure that it responds appropriately to its urban context and historic setting.

Architectural Design – fabric, function and composition

76. The Proposed architectural design is mannered and sensitive to the historic context. The strategy to retain and re-clad and extend the existing building is considered sound and ensures that Minerva House is sensitively repurposed. At the base of the building, the area of the existing Minerva House, the building will be clad in stone fins with brick infills. This pick up on the architectural character of the Cathedral and re-interprets it in a modern commercial language. The choice of stone and brick as well as the architectural detailing of the constructed building will be critical to the quality of the design and should be reserved by condition in order to ensure that it is appropriate for the conservation area and the setting of the Cathedral.
77. At the top, the set-back floors are designed as a set of cascading glass and metal ribbons setting back on each floor and stepping away for the Cathedral at the southern end. The design of these floors is deliberately calm and the set-back reduces their visibility further. With each set-back a landscaped terrace is proposed which will enhance the usability of the new office floor space offering amenity to occupants. The contrasting design is appropriate, reinforcing the masonry base and shoulder of the building and preserving its complementary relationship with the conservation area and the Cathedral.
78. All the office floor plates are to be upgraded with modern facilities. The

arrangement in two wings radiating from a central core ensures that the offices can be subdivided to meet the needs of a range of enterprises as well as leger businesses that may need to take up a whole floor. In conclusion, the proposal complies fully with the council's adopted architectural design policies. Its fabric, function and composition are appropriate, measures and high quality ensuring that it will be a worthy new building in the borough.

Design Review Panel

79. The proposal was presented to the Southwark DRP in April 2021 at the pre-application stage. The Panel were generally supportive of the proposal and they welcomed the wider improvements arising in the area. They requested further design refinement of the new facades, including the cut-through and the main entrance. They also encouraged further work to the massing and articulation of the glassy attic storeys and challenged the designers to do more with the landscape, public realm and sustainability in advance of a planning application.
80. The submitted scheme was updated and amended to address the comments of the Design Review Panel. The façade design was updated with a stronger emphasis on brick and a more detailed consideration of the character of the new route. The Panel's suggestion to not set-back the upper floors on the river frontage was rejected and instead the upper floors were set-back further on the southern edge in order to limit any harm to the setting of the Cathedral. The public realm was enhanced significantly with areas for mature trees included to make the most of the new public space. Officers are satisfied that the scheme was significantly enhanced following the DRP.

Archaeology

81. The site is located within the North Southwark and Roman Road Archaeological Priority Area (APA1) which is identified as a Tier 1 Zone as outlined within policy P23 (Archaeology) of the Southwark Plan (2022). This means the location is defined of very high archaeological sensitivity which is known, or strongly suspected to contain heritage assets of a national importance.
82. The submitted Archaeological Desk Based Assessment (ref: 12107, dated October 2021 by MOLA) has been reviewed by the Council's Archaeologist. The desk-based assessment seeks to identify and describe the significance of any known/potential buried heritage assets affected by the development, assess the likely impacts of the development on these assets and their significance and provide recommendation for further assessment and or/mitigation where necessary.
83. The Archaeology Officer has reviewed the report and advises that there is likely to be Roman material on this site that may have been affected by the previous development of the site and that further evaluation needed. There is potential for archaeological remains of national significance to be present on this site.
84. As detailed in the desk-based assessment archaeological observation of any site investigation works should be the start of archaeological works within this development. It is noted that there is a potential for significant remains, in the form of early waterfront structures to be found. These would be highly instructive

as to the construction and planning of early Roman Southwark.

85. Archaeological works should progress with a combination of watching briefs over areas of breaking out to ensure archaeological remains are not impacted, and, are recorded at initial stages where encountered and excavation of areas of impact before new construction or formation of foundations or structures commences. Therefore a combined WSI to cover these types of work will be necessary. Due to the significant location of this building within the Roman town a programme of public engagement should be designed to make such information publicly accessible. The site also includes a historic plaque which is to the St Saviour's dock side of the building that should be recovered and secured as part of the new development. A listed bollard stands at the junction of Clink Street and Cathedral Street. This should be considered in any design of the required hoarding to ensure it is not inadvertently removed. Planning conditions are recommended to secure archaeological mitigation, foundation works, basement design, archaeological reporting and public engagement. A financial contribution would be secured through the S106 agreement to fund the effective monitoring of archaeological matters.

Fire safety

86. A Planning Fire Safety Strategy has been submitted to demonstrate compliance with Building Regulations and policy D12 of The London Plan (2021). The report was prepared by a suitably qualified third party assessor and includes details of construction methods and materials, means of escape, fire safety features and means of access for fire service personnel. The GLA raised no objection to the fire safety proposal in their Stage 1 report and confirmed that the report has been prepared in compliance with policy D12 of The London Plan (2021).

Impact of proposed development on amenity of adjoining occupiers and surrounding area

87. Policy P56 (Protection of Amenity) of the Southwark Plan states that development should not be permitted when it causes an unacceptable loss of amenity to present or future occupiers or users. Amenity considerations which will be taken into account include privacy and outlook, overlooking, smell, noise, vibration, daylight, sunlight and wind microclimate impacts. The adopted Residential Design Standards SPD expands on policy and sets out guidance for protecting amenity in relation to privacy, daylight and sunlight.

Overlooking and privacy

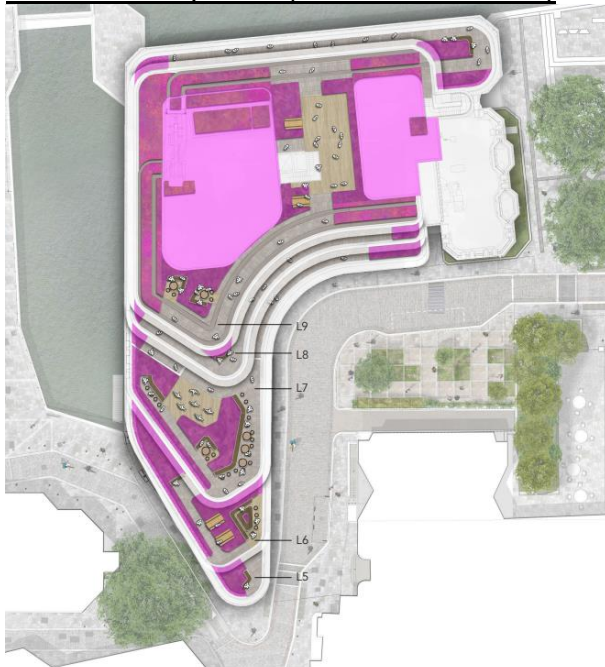
88. The proposed development would include new windows and outlook across all elevations, including 360 degree perspective views from the roof terraces at upper floor levels. The viewpoints from the floor extensions would be consistent in matching the aspects with the current floors of the existing host building. The site is on the banks of the River Thames and there are no concerns with overlooking or privacy facing north. To the south/south east is Southwark Cathedral which is a religious place of worship, there are no concerns with regards to overlooking/privacy toward this direction.

89. The proposed sixth, seventh, eighth and ninth floor roof terraces would overlook some of the buildings nearby, however the roof terraces would be subject to the submission of an Operational Management Plan through a pre-commencement condition. This would be tied with a compliance condition ensuring the roof terrace can only be used between the hours of 09:00 – 20:00 Monday to Friday. The terraces would also contain perimeter planting to provide some soft screening buffer at the request of neighbourhood consultation with residents. Overall the development would not significantly create more overlooking to the detriment of neighbour's privacy, and there this element of the proposed development is considered satisfactory.

90. Roof terrace visual 1



91. Roof terrace plan 1 (inaccessible area)



Sense of enclosure

92. The development is considered to be of an appropriate size to ensure it does not give rise to undue sense of enclosure or overbearingness for the majority of neighbours. The design has been amended from the pre-application to be

reduced in bulk and massing, ensuring any sense of enclosure is minimised. The development is not thought to cause significant detrimental impact through overbearingness, and has been carefully designed to ensure the amenity of commercial and residential neighbours is respected through limited impact which is considered satisfactory.

Daylight and sunlight

93. There is no specific national planning policy related to such matters however, the BRE Report “Site Layout Planning for Daylight and Sunlight – A Guide to Good Practice” (June 2022) is an established guidance document detailing industry standards considered appropriate for urban development analysis. The two main measures to assess the impact of daylight from the development are VSC (Vertical Sky Component) and NSL (No Skyline).
94. VSC (daylight spot) – assessment of all rooms/windows within surrounding buildings that both face and overlook the proposed development. If this Vertical Sky Component is greater than 27% then enough skylight should still be reaching the window of the existing building. Any reduction below this level should be kept to a minimum. If the Vertical Sky Component with the new development in place is both less than 27% and less than 0.8 times its former value, then the occupants of the existing building will notice the reduction in the amount of skylight. It should be noted that “notice” does not necessarily equate to the loss of light being a material reduction to the level of amenity enjoyed by the neighbouring building.
95. NSL (No Skyline) - is a measure of the distribution of diffuse daylight within a room. The NSL simply follows the division between those parts of a room that can receive some direct skylight from those that cannot. If from a point in a room on the working plane (a plane 850mm above the floor) it is possible to see some sky then that point will lie inside the NSL contour. Conversely, if no sky is visible from that point then it would lie outside the contour.
96. Two building surrounding the site have been assessed for daylight and sunlight. These are:
 - *6 Montague Close (residential)*
 - *Southwark Cathedral (religious/place of worship)*
97. For the purpose of Planning, the tests within the BRE Guidelines are usually limited to habitable rooms within existing neighbouring residential buildings. A “habitable” room is defined as a Kitchen, Living Room or Bedroom. Bathrooms, hallways and corridors are excluded from this definition. Nondomestic and commercial buildings are also excluded, as it is generally accepted that these uses normally rely primarily on supplementary artificial lighting throughout the day; and are therefore not dependent on natural light for their main source of amenity.
98. For all other neighbouring buildings where records drawings have not been available, reasonable efforts and assumed room layouts for the purpose of the No Skyline Daylight Distribution Analysis were based on an external inspection and general nature and typology of the buildings.

VSC Results

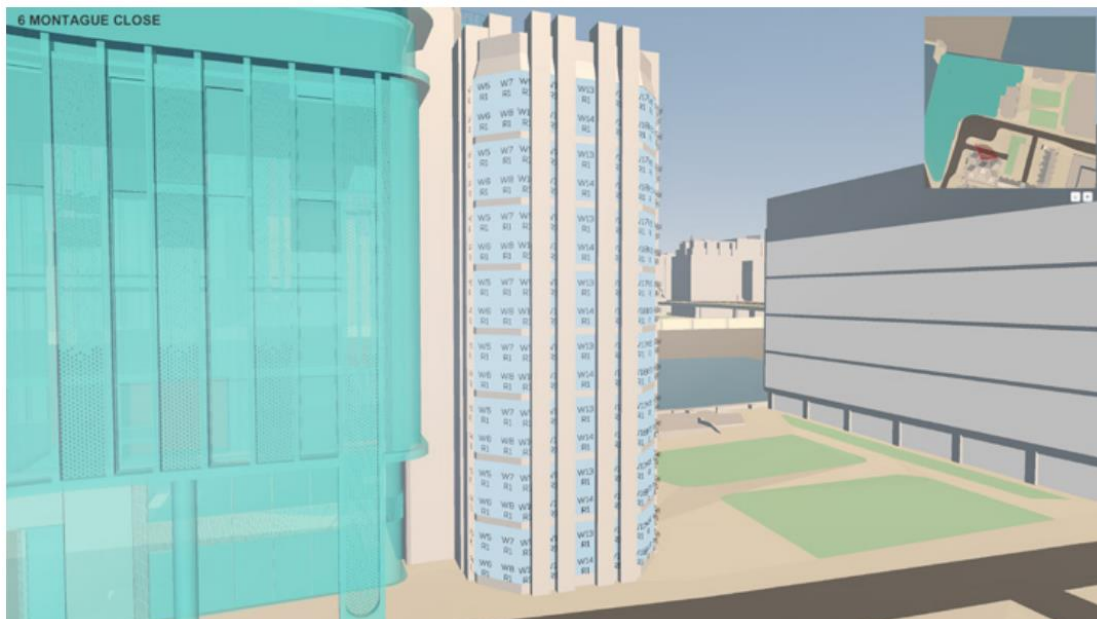
99.

Address	Total windows assessed	Total meeting BRE guidance	Below BRE criteria (loss)			Total affected windows
			Minor 20 29%	Moderate 30 - 39%	Major+ 40%	
6 Montague Close	294	80%	26	0	33	59
Southwark Cathedral	144	100%	0	0	0	0

100. The VSC calculations show that some of the residential units in 6 Montague Close will experience a noticeable change to the daylight levels through some windows. Of the identified 59 windows which would note a change in daylight, 26 would be of them would be impacted to a low-minor extent. There are 33 windows which would be impacted adversely to a major extent by the proposed development (% loss):

- GF: W1 (97%), W2 (97%), W3 (51%), W4 (50%) (1 room – LKD)
- 1F: W1 (97%), W2 (97%), W3 (51%), W4 (52%) (1 room – LKD)
- 2F: W1 (97%), W2 (98%), W3 (52%), W4 (52%) (1 room – LKD)
- 3F: W1 (98%), W2 (98%), W3 (54%), W4 (53%) (1 room – LKD)
- 4F: W1 (97%), W2 (98%), W3 (55%), W4 (55%) (1 room – LKD)
- 5F: W1 (96%), W2 (97%), W3 (57%), W4 (56%) (1 room – LKD)
- 6F: W1 (94%), W2 (95%), W3 (59%), W4 (58%) (1 room – LKD)
- 7F: W1 (90%), W2 (92%), W3 (53%), W4 (57%) (1 room – LKD)
- 7F: W42 (50%) (1 room – bedroom)

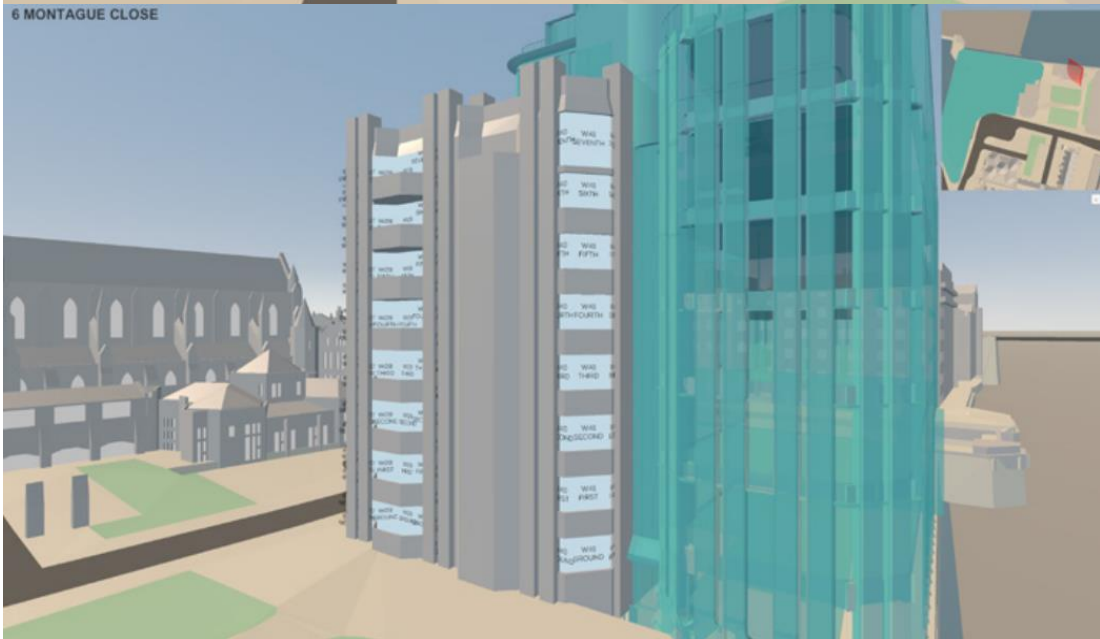
101. Window maps of 6 Montague Close



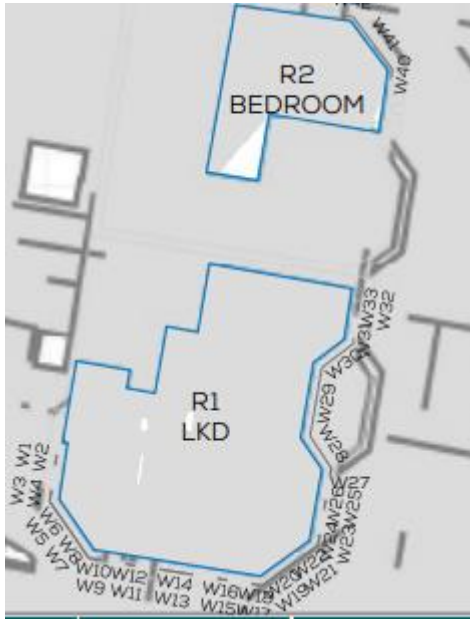
6 MONTAGUE CLOSE



6 MONTAGUE CLOSE



102. Typical residential floorplan – 6 Montague Close



103. The severely impacted windows listed in paragraph 100, serve rooms with more than one window. The typical residential floorplan for these residential units show that the LKD rooms are served by 32 windows as shown in the diagram above. Only four of these 32 windows would suffer significant VSC measured losses. Given the majority of the windows which serve the LKD would meet or have a minor-moderate extent of impact, overall the daylight loss is considered acceptable. The windows listed above are annotated on the window maps in Appendix 5 of the Daylight and Sunlight Assessment (ref: 17277, dated April 2022 by GIA).

NSL Results

104. Address	Total rooms assessed	Total meeting BRE guidance	Below BRE criteria (loss)			Total affected windows
			Minor 20 29%	Moderate 30 - 39%	Major+ 40%	
6 Montague Close	16	16	0	0	0	0
Southwark Cathedral	4	4	0	0	0	0

105. The NSL calculations demonstrate that any reduction in daylight as a result of the proposed development would not be noticeable in accordance with the BRE guidance 2022. This is because the affected windows for these buildings share a room with at least one other window, and the overall impact on these rooms would not be significant to have a detrimental impact to the amenity of those rooms. Therefore the overall impact on daylight for these rooms is considered to be acceptable.

Overshadowing

106. The BRE (2022) guidance for Daylight and Sunlight states that for an amenity area to be adequately lit, it should receive at least 2 hours sunlight over half of its area on 21st March (spring equinox). If as a result of the new development, a garden or amenity area does not achieve this and the area which can receive two hours of sunlight on the ground is reduced by more than 20%, then the loss of sunlight is likely to be noticeable.
107. The Daylight and Sunlight Assessment (ref: 17277, dated April 2022 by GIA) submitted with this application, includes an assessment on the potential for overshadowing the following outdoor amenity areas:
- Southwark Cathedral grounds
 - Glaziers Hall – Minerva pocket park space
 - Old Thameside Inn public house (outdoor seating area)
108. Sunlight hours map

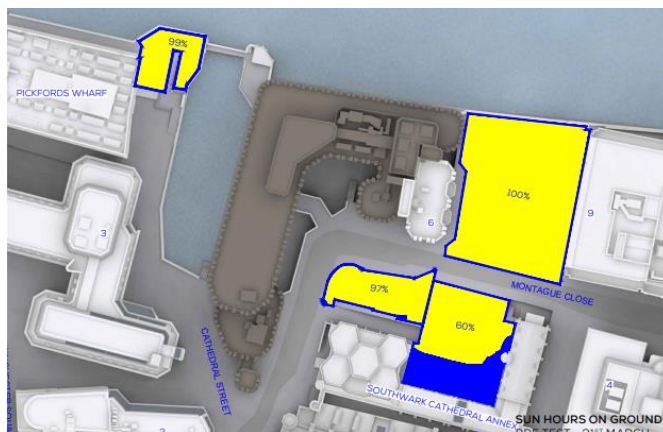


Figure 07. Existing Sun Hours on Ground

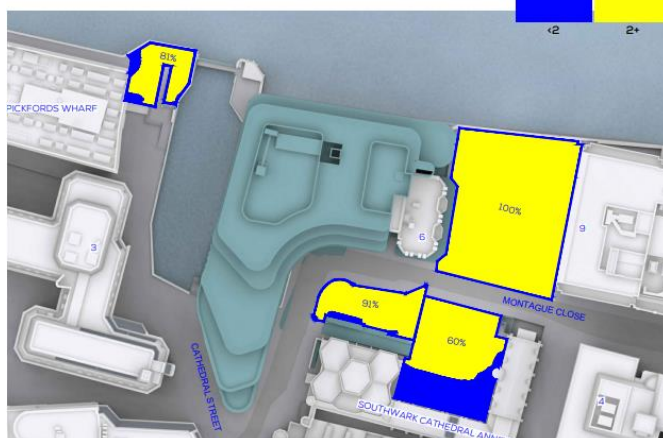


Figure 08. Proposed Sun Hours on Ground

109. All these amenity areas would still receive more than 2 hours of sunlight across 21st March (spring equinox) across more than half their areas. The figures and modelling demonstrate that the areas would exceed more than 50% of coverage, and therefore this is above the BRE guidelines. These spaces would still receive adequate sunlight if the proposed development is constructed. The results of this overshadowing assessment are modelled within Appendix 6 of the Daylight and Sunlight Assessment (ref: 17277, dated April 2022 by GIA).

Conclusion on daylight and sunlight

110. Whilst there would be significant losses of VSC for 33 windows, the NSL assessment demonstrates that the associated rooms of the impacted windows would still receive a suitable amount of daylight and sunlight. It is acknowledged that there would be a noticeable impact to some areas of the LKD however as the NSL measures meet BRE guidance the light amenity impacts are considered satisfactory in not harming residential amenity to a detrimental extent.

Noise and vibration

111. The Noise Policy Statement for England (NPSE) applies to all forms of noise including environmental noise, neighbour noise and neighbourhood noise. The Government recognises that the effective management of noise requires a co-ordinated and long-term approach that encompasses many aspects of modern society.
112. Methods for rating and assessing industrial and commercial noise is given in the BS 4142 Methods for rating and assessing industrial and commercial sound (2014). This guidance was developed for the purposes of:

- a) *investigating complaints*
- b) *assessing the sound from new, modified or additional sources of sound; and*
- c) *assessing sound at proposed new dwelling or premises used for residential purposes.*

113. Policy D14 (Noise) of the London Plan (2021) states:

In order to reduce, manage and mitigate noise to improve health and quality of life, residential and other non-aviation development proposals should manage noise by:

- 1) avoiding significant adverse noise impacts on health and quality of life*
- 2) reflecting the Agent of Change principle as set out in Policy D13 Agent of Change*
- 3) mitigating and minimising the existing and potential adverse impacts of noise on, from, within, as a result of, or in the vicinity of new development without placing unreasonable restrictions on existing noise-generating uses*
- 4) improving and enhancing the acoustic environment and promoting appropriate soundscapes (including Quiet Areas and spaces of relative tranquillity)*
- 5) separating new noise-sensitive development from major noise sources (such as road, rail, air transport and some types of industrial use) through the use of distance, screening, layout, orientation, uses and materials – in preference to sole reliance on sound insulation*
- 6) where it is not possible to achieve separation of noise-sensitive development and noise sources without undue impact on other sustainable development objectives, then any potential adverse effects should be controlled and mitigated through applying good acoustic design principles*
- 7) promoting new technologies and improved practices to reduce noise at source, and on the transmission path from source to receiver.*

114. Policy P66 (Reducing noise pollution and enhancing soundscapes) of the Southwark Plan (2022) states that development must avoid significant adverse impacts on health and quality of life and mitigate any adverse impacts caused by noise. The Council's Environmental Protection Team (EPT) have reviewed the submitted Noise and Vibration Control Strategy (ref: 10/12320 dated October 2021 by Hoare Lea) and the Roof Terrace Noise Impact Assessment (ref: 10/12320 dated May 2022 by Hoare Lea).
115. The Noise and Vibration Control Strategy takes into account the baseline sound survey, control of external sound break-in, noise from building services plant equipment and vibration. The conclusion states that any adverse noise can be mitigated through a variety of features which includes:
- *A solid acoustic screen will surround the VRF and DX units on four sides. The extent of the screen is shown in purple in Figure 5 (of the assessment). The screen will be of the same height as the top of the VRF units (including anti-vibration mounts). The solid screen will have a minimum mass per unit area of 15kg/m² and have an acoustically absorbent finish (minimum Class A rating) facing the plant area.*
 - *The VRF units will operate in low noise mode only. This will provide an overall reduction in the noise levels from the VRF units presented in Appendix C of 3-7 dB (depending on the unit).*
 - *Noise from tenant DX units will be limited to a sound power level of 66 dB(A).*
 - *High performance in-duct attenuators will be provided for all ventilation equipment.*
 - *All plant shall be free of any tones or acoustic character as defined by guidance from BS 4142.*
 - *Anti-vibration mounts will be provided to all plant equipment.*
116. Having reviewed this assessment, the Local Planning Authority take the view that the submission is acceptable, and elements of concern regarding plant acoustic noise can be conditioned to mitigate any harmful noise impacts.
117. The Roof Terrace Assessment concludes that, noise from the roof terrace is found to cause at worst a low level impact which can be reduced to be negligible if the hours of use are restricted.
118. The assumptions for the assessment modelled a worst-case scenario where the larger roof terraces are fully occupied and at least half of the occupants are speaking simultaneously, with a raised voice. The sound levels predicted from the roof terraces have been compared against the existing ambient sound levels in the area. The results indicated that the introduction of the terraces could increase the existing sound levels by up to 1 dB. The sound from the use of the terraces is in keeping with the existing sound character of the area, which is influenced by pedestrian activity and users of the nearby restaurants and bars. It is therefore recommended that the use of the roof terrace be conditioned to certain hours to avoid noise disturbance for neighbours.
119. The acoustic mitigation details for plant noise and the restriction of hours of use condition for the roof terrace would have likely ensured that neighbours would

not adversely impacted from noise to a detrimental extent. The mitigation proposed uses acoustic technology to limit background noise and combined with appropriate planning conditions, this would have ensured protection of amenity for neighbours would not have been detrimental and sufficiently mitigated.

Transport and highways

120. The NPPF (2021) requires transport issues to be an integral consideration in the determination of development proposals. It places emphasis on locating new development within accessible and sustainable locations, maximising sustainable transport opportunities, reducing parking provision, ensuring safe and suitable access to sites can be achieved for all users and maximising opportunities to enhance access and permeability. These aims, combined with transport policies are critical to achieving high quality public realm and place-making objectives.

Site context

121. The application site has a PTAL score of 6b, which demonstrates excellent connectivity to TfL transport services. It is also located within the C1 Bankside CPZ (Controlled Parking Zone), which operates Monday to Friday between 08:00 – 18:30 and on Saturdays between 09:30 – 12:30. The existing site has 35 car parking spaces, the proposed development seeks to upgrade the existing transport arrangements on site through cycle parking, and servicing and delivery arrangements.
122. This site abuts the riverside walk-riverboat service along River Thames and, the footway next to it on Montague Close which connects easterly to London Bridge tube/train station and the busy bus routes on Tooley Street/Borough High Street. It also links with various cycle routes in its locality between the Cycle Superhighway 7 and National Cycle Network 4. The applicant has proposed an improved pedestrian environment in front of the north-easterly half of these buildings, flanking the retained residential dwellings in the form of:
- a levelled pedestrian accesses, complemented with straight east-west/north-south boundary alignment
 - a new wider east-west pedestrian route through the westerly building from Montague Close to the adjacent Cathedral Street with a raised table at its proximate southern side on Montague Close
 - an extended raised table incorporating a loading bay in the position of the existing disabled bay on the southern side of the stretch of Montague Close beside the north-eastern building
 - a new replacement disabled bay opposite the southern part of this development on Montague Close
 - the removal of the concrete blocks on the public realm adjoining the eastern side of this road
 - lift accesses including a cycle lift plus a reduced car park with adequate vehicle turning space that would enable vehicles parked therein to enter and exit it in a forward gear
 - cycle/refuse bin stores, a temporary refuse bin holding space next to the entry ramp to the basement car park and

- shower/changing facilities for cyclists in the basement

123. Moreover the footway on the western and northern sides of the segment of Montague Close flanking this site, would be widened to achieve 2 metres to 2.5 metres at most of its length. Thereby limiting the present pinch points to small sections of the footways around the south-western part of this site including that on Cathedral Street, with a generous 4.4 metres-wide public realm provided in front of the eastern building. The carriageway on the southern stretch of Montague Close would also be extended to 6 metres, to create passing places for vehicles comprising also the area of the disabled bay being re-positioned on its eastern side. It is expected that loading/unloading would take place on the new loading bay and next to the temporary refuse bin holding space on Montague Close.

Trip generation

124. The Transport Officer has reviewed the Transport Assessment (Ref: 279832-00 dated October 2021 by ARUP) provided with the submission package. With regards to the vehicle movements emanating from this development proposal, our interrogation of comparable sites' travel surveys within TRICS travel database has revealed that this building's office/restaurant expansion (6794m² GEA) would generate some additional 7 and 9 two-way vehicle movements in the morning and evening peak hours respectively, figures which are less than the applicant's consultants' projected 22 two-way vehicular traffic in any of the peak hours. We have subsequently considered that even taking into account the likely vehicle movements from other committed developments in this locality, these levels of forecasted supplementary vehicle movements would not have any noticeable adverse traffic impact on the surrounding roads. The applicant's consultants have projected that this development would produce some 182 and 172 two-way supplementary public transport trips in the morning and evening peak hours, individually plus 26 two-way service vehicle movements per day. These figures and assessments are considered to be accurate in reflecting the trip generation from this proposed development.

Servicing and Deliveries

125. A layby is proposed on the southern side of Montague Close, enabling vehicles to service the building without obstructing traffic flow. Refuse for the commercial floorspace will be stored within the basement and presented on-street (within designated presentation area) for collection. Residential waste strategy remains unaffected. Bins for both the commercial floorspace and residents will continue to be transferred from the basement to street level using a tug as in the existing arrangement. If the vehicle stops within the carriageway, the proposed wider carriageway width will ensure that refuse vehicles do not block the route for other vehicles while stopping to collect waste.

Car parking

126. Off-street parking is not afforded protection under planning policy and as the application site has a 6B PTAL rating, the net loss of 22 car parking spaces is supported to reduce the reliance on such modes of transport. The applicant has

proposed a reduction of the existing 35 basement level car parking spaces to 12 including 1 disabled bay. The prevailing disabled bay on Montague Close would be retained albeit to be relocated to its southern side, the changes and associated works for this are to be secured through a S278 Agreement.

Cycle parking

127. The applicant has proposed 292 cycle parking spaces comprising 262 long stay cycle parking spaces including 27 folding bicycle lockers and 7 Sheffield cycle racks in the basement of this development, plus 25 Sheffield cycle racks containing 50 short stay cycle parking spaces on the ground floor public realm. The quantum of cycle parking matches the 270 spaces recommended in the London Plan (2021), but is significantly less than the required 501 spaces in the Southwark Plan (2022). Whilst there are some practical constraints to providing the full quantum of 501 cycle parking spaces, given that this is the refurbishment and part extension of an existing building the applicant would be expected to contribute towards the provision of a cycle hire docking station which is to be secured through the S106 Legal Agreement. Specific design specification details of the cycle parking are recommended to be secured through a planning condition.

Highway works

128. The Highways Development Team have reviewed the proposal; it would be necessary for the developers to enter into a S278 agreement to mitigate impacts and enhance the proposed development. This works includes but is not limited to:
- Repave the western and northern footways including new kerbing fronting the development on Montague Close using Yorkstone Natural Stone slabs and 300mm wide granite kerbs
 - Install new disabled parking bay and insert loading bay on Montague Close. Works to include kerb realignment and drainage.
 - Promote a Traffic Management Order (TMO) to relocate existing disabled bay, introduce new loading bay, and amend existing waiting / loading restrictions as appropriate. Works to include signage and road markings.
 - Upgrade street lighting to current LBS standards
 - Repair any damage to the highway due to construction activities for the Development including construction work and the movement of construction vehicles
 - Prior to works commencing on site (including any demolition) a joint condition survey should be arranged with Southwark Highway Development Team to catalogue condition of streets and drainage gullies.

Environmental matters

Construction management

129. An Outline Construction Management Plan (dated July 2021) has been submitted with this application, detailing the proposed works and measures that would be in place to reduce impacts on the local community and highways

network, including ensuring the environmental management of air quality, dust and noise disturbance during the construction period. Given the sensitive context of the site, the submission of a fully detailed Construction Management Plan is recommended to be conditioned. This is to ensure health, safety and impacts from deliveries and servicing does not cause pollution or unreasonable disturbance to neighbours and other members of the public.

Flood risk

130. The site is within a Flood Zone 3 area – a zone benefiting from some flood defence systems. Policies S112 (Flood Risk Management) of The London Plan (2021) and P68 (Reducing Flood Risk) states that development must not increase flood risk on or off site. The submitted Flood Risk Assessment and Drainage Strategy Report (ref 1114, dated April 2022 by Heyne Tillet Steel) has been reviewed by officers. The flood-risk on the site was evaluated for all potential sources of flooding and was found to be low for flooding from rivers and sea, surface water, sewers, and artificial sources. To mitigate against the risk of surface water and groundwater flooding, a new surface water network will be installed on site with attenuation systems provided and basement waterproofing measures will be employed in accordance with BS EN 8102, respectively. The suitability of different SuDS techniques was assessed in accordance with requirements set out in the London Plan. Surface water attenuation will be provided in the form of blue and blue-green roof, the extents of which have been maximised. This will reduce the surface water outflow rates by 94% for the building and 64% for the site as a whole, for the 100-year rainfall event + 40% climate change allowance.
131. The assessment, mitigation and management measures detailed within the FRA are suitable in addressing the technical requirements of building within designated Flood Zones 3. A compliance condition will be attached to ensure works are carried out in accordance with the agreed Flood Risk Assessment. Further outstanding details such as drainage are also to be secured through conditions. This includes Details of Detailed Drainage Design and a Drainage Verification Report, which have been agreed with the applicant.

Land contamination

132. In order to ensure that the development can be carried out safely without unacceptable risks from land contamination, a pre-commencement condition for Site Contamination will be attached. This has been agreed with the applicant.

Air quality

133. The site is located within an Air Quality Management Area (AQMA) and policies P65 (Improving Air Quality) of the Southwark Plan (2022) and SI 1 (Improving Air Quality) of The London Plan (2021) states that development must address the impacts of poor air quality. An Air Quality Assessment (ref: 10/12387, dated October 2021 by Hoare Lea) has been submitted to assess air quality impacts during the construction and operational phases of the development, and exposure of nearby residents and future users/occupants of the site to air pollution. The report recommends a variety of mitigation measures to cover

communications, dust, sitemanagement, monitoring, preparing and maintaining the site, operation of machinery, waste management, demolition and construction. The report is comprehensive and officers are satisfied that the proposed mitigation measures are suitable to ensure that the development addresses the impacts of poor air quality. It is recommended that the Air Quality Assessment be conditioned to ensure appropriate mitigation is implemented.

Light pollution

134. The application proposes a significant major development in a sensitive historic area and therefore details of a full external lighting scheme is required through an above grade condition. This would also include a lighting scheme for the roof terraces and ground floor walkway tunnel, the scheme should also provide details of the security surveillance proposed. This is required to ensure that the Council are satisfied that the visual amenity of the area is protected, at the same time considered the safety and security of persons using the building and around the application site.

Energy and sustainability

135. The proposed scheme has been developed in-line with the energy policies within local and regional policy. The three step Energy Hierarchy has been implemented and the estimated regulated CO2 savings on-site are 45%. This exceeds the 35% target stated within policy SI2 (Minimising greenhouse gas emissions) of The London Plan (2021). Whilst this is not a major development, it is encouraging and good practice to ensure emission savings are targeted.

Carbon emission reduction

136. Policy SI 2 (Minimising greenhouse gas emissions) of The London Plan (2021) and P70 (Energy) of the Southwark Plan (2022) require all major development to be net carbon zero. Where it can be demonstrated that the development cannot achieve 100% on-site carbon savings beyond Part L of the Building Regulations, a financial contribution would be secured to offset the remaining carbon emissions. For non-residential development, a minimum of 40% savings beyond Part L of the Building Regulations must be met on-site, in accordance with Policy P70 (Energy) of the Southwark Plan (2022) . At least 15% of these savings should be achieved through energy efficient measures (Be Lean).
137. An Energy Statement (Rev 2 dated 29/10/2021 by Hoare Lea) was submitted as part of the application. It is estimated that the proposed development would achieve an overall carbon saving for non-domestic emissions of 36.8%, below the Part L of the 2013 Building Regulations. 15.3% of these saving would be achieved through Be Lean measures and 21.5% through Be Green measures. The remaining tonnes of carbon emissions per annum would be offset through a £392,784 payment in lieu contribution to the Council's Green Buildings Fund.

Be Lean (use less energy)

138. This element reduces the energy demand, through the adoption of passive and active design measures and implementations. The proposed energy efficiency

measures includes solar shading to glazing and thermal mass to manage heat. The active cooling and heating demand has been minimised as far as possible through passive design measures including efficient building fabric, improved building air tightness and efficient lighting. The proposed development is anticipated to make a 15.3% decrease in CO2 emissions.

Be Clean (supply energy efficiently)

139. The feasibility of connecting to any existing district heating networks has been reviewed, but no opportunities have been identified in the vicinity of the site. Future-proofing measures will be implemented to enable connection to any future low carbon district heating network. On-site CHP is not proposed due to limited carbon reduction potential in light of recent grid decarbonisation (i.e. SAP10 carbon factors), and the adverse impact on air quality from flue emissions. Therefore, no additional carbon reductions are anticipated at the clean stage.

Be Green (Use low or carbon zero energy)

140. It is proposed that Variable Refrigerant Flow (VRF) technology will be utilised to provide space heating, cooling and domestic hot water. External terraces have been provided on the both buildings, and no available roof areas is available once VRF and other building services plant has been accommodated therefore Solar PV panels are not proposed for the Proposed Development at this time. Overall, the proposed development is anticipated to achieve a 36.8% reduction in CO2 emissions beyond the 'Gas boiler baseline' including the consideration of Low or Zero Carbon (LZC) technologies.

Be Seen (Monitor and review)

141. Following the implementation of the three previous stages of the hierarchy, a monitoring strategy will be put in place to ensure that the actual energy performance of the development can be monitored and reported post occupation.

Circular economy

142. A Circular Economy Statement and GLA Circular Economy Spreadsheet has been submitted to demonstrate how the proposed development has addressed circular economy principles in accordance with London Plan Policy SI 7 (Reducing waste and supporting the circular economy) and Southwark Plan Policy P62 (Reducing waste). In their Stage 1 report the GLA confirms that the information submitted for circular economy principles is acceptable. A planning condition is recommended to secure a post-construction report.

Overheating

143. The cooling hierarchy was developed as part of the London Plan as a framework

to ensure that proposed development's reduce the impact of the urban heat island effect in London as well as avoid overheating and excessive heat generation. The following mitigation methods will be implemented within the proposed development:

144. Minimising internal heat generation through energy efficient design

The following mitigation methods will be implemented to minimise the internal heat generation through energy efficient design at the Proposed development:

- *Energy efficient lighting (i.e. LED) with low heat output.*
- *Insulation to heating and hot water pipework and minimisation of dead-legs to avoid standing heat loss.*
- *Energy efficient equipment with low heat output to reduce unnecessary heat gain.*

145. Reducing the amount of heat entering the building in summer

The following mitigation methods will be implemented to reduce the amount of heat entering the building in summer within the proposed development:

- *Facades have been developed with suitable glazing-to-solid ratios, with particular focus on south facing orientations*
- *Suitable g-values will be specified to further control solar heat gains as required; and*
- *Buildings will have the capability for internal blinds to be installed to improve occupant comfort.*

146. Manage heat gains

Opportunities to expose thermal mass to help to further regulate internal temperatures will be explored where possible, although the potential use of cross-laminated timber (CLT) slabs does mean that the main office floor soffits will be thermally lightweight.

147. Passive ventilation

The potential for passive ventilation via opening facades to facilitate a mixed-mode ventilation strategy has been considered within the facade design and will be evaluated further during the next stage of design.

148. Mechanical ventilation

Mechanical ventilation is an important element of building services, to maintain good indoor air quality throughout the day by providing fresh air and extracting vitiated air. Providing this fresh air minimises the risk of stale and stagnant air and limits the risk of condensation and mould growth as well as benefitting the occupant's physical and mental wellbeing. Heat recovery mechanisms will be provided to save heating energy. Mechanical ventilation plant will be located away from pollution sources, typically at roof level.

149. The Overheating Assessment concludes that the building would maintain

thermal comfort for all weather data demonstrating that the development will adapt to climate change. Therefore the development should not experience any overheating issues, in accordance with policy SI4 (Managing heat risk) of The London Plan (2021) and policies P14 (Design quality) and P69 (Sustainability standards) of the Southwark Plan (2022).

BREEAM

150. No BREEAM pre-assessment has been submitted, although major non-residential development should seek the proposed development to achieve at least BREEAM 'Excellent' with a score of +70% as required by policy SI5 Water Infrastructure of The London Plan (2021). It is recommended that details of this should be provided within a BREEAM pre and post construction assessment by way of a planning condition.

Ecology and Biodiversity

151. The existing site is of limited (bio) ecological value, and a new biodiverse roof, wider landscaping upon terraces and within the public realm provide a good opportunity for biodiversity net-gain.
152. The Council Ecologist has reviewed the submitted BREEAM Ecology Report (Dated October 2021 by Greengage) and is in agreement with the ecological enhancements recommended. The proposed roof terrace plans incorporate a conceptual landscaping design. This includes as aforementioned a biodiverse roof and other features such as species rich herbaceous, shrub planting, vertical greening and gravelled garden areas. The space is designed to be integrated and flexible, seen as a good and valuable amenity space to a modern office building. Features of nesting/swift bricks are also recommended, including wildlife friendly landscaping at ground level using a variety of pollinator-friendly species. These features are to be secured through conditions, and would contribute positively to the overall development in improving the urban greening of the proposed development.

Landscaping

153. The proposal would result in the loss of one Category C tree, which is in a central planter. No other trees would be affected. The loss of this x1 tree is sufficiently mitigated by proposed planting elsewhere. Details of hard and soft landscaping are recommended to be requested through a planning condition.

Planning obligations (S.106 agreement)

154. Policy IP3 (Community Infrastructure Levy (CIL) and Section 106 planning obligations) of the Southwark Plan (2022) and Policy DF1 (Delivery of the Plan and Planning Obligations) of the London Plan (2021) advise that planning obligations can be secured to overcome the negative impacts of a generally acceptable proposal. Policy IP3 of the Southwark Plan (2022) is reinforced by the adopted Section 106 Planning Obligations 2015 SPD, which sets out in detail the type of development that qualifies for planning obligations. The NPPF which echoes the Community Infrastructure Levy Regulation 122 which requires

obligations be:

- necessary to make the development acceptable in planning terms;
- directly related to the development; and
- fairly and reasonably related in scale and kind to the development

155. Following the adoption of Southwark’s Community Infrastructure Levy (SCIL) on 1 April 2015, much of the historical toolkit obligations such as Education and Strategic Transport have been replaced by SCIL. Only defined site specific mitigation that meets the tests in Regulation 122 can be given weight.

Planning Obligation	Mitigation	Agreed
Carbon offset	£393,300 contribution to green fund	Y
Employment enterprise and	Jobs during construction	Y
Employment enterprise and	General and user end – Skills and Employment Plan	Y
Employment enterprise and	Affordable workspace – 10% of uplift (c650sqm)	Y
Public realm	Upgrade of pedestrian walkway, new public garden and external lighting strategy	Y
Transport works	Upgrading of pedestrian routes, contribution towards cycle docking station, payment of delivery and servicing bond	Y
Southwark Cathedral contribution	A financial mitigation contribution of £425,000 to Southwark Cathedral – to be used for works within curtilage of Cathedral only	Y
Highways works S278	As specified above.	Y

157. In the event that an agreement has not been completed by 6 December 2023, the committee is asked to authorise the Director of Planning and Growth to refuse permission, if appropriate, for the following reason:

158. In the absence of a signed S106 legal agreement there is no mechanism in place to mitigation against the adverse impacts of the development through contributions and it would therefore be contrary to policies DF1 (Delivery of the Plan and Planning Obligations) of the London Plan (2022), policy IP3 (Community Infrastructure Levy (CIL) and Section 106 planning obligations) of the Southwark Plan (2022) and the Southwark Section 106 Planning Obligations and Community Infrastructure Levy SPD (2015).

Mayoral and borough community infrastructure levy (CIL)

159. Section 143 of the Localism Act states that any financial contribution received as community infrastructure levy (CIL) is a material ‘local financial consideration’ in planning decisions. The requirement for payment of the Mayoral or Southwark CIL is therefore a material consideration. However, the weight attached is determined by the decision maker. The Mayoral CIL is required to contribute

towards strategic transport invests in London as a whole, primarily Crossrail. Southwark's CIL will provide for infrastructure that supports growth in Southwark

160. The site is located within Southwark CIL Zone 1 and MCIL2 Central London Zone. Based on the floor areas provided in the agent's CIL Form1 (GIA Info) dated 28-Oct-21 and Design & Access Statement (Section 10.11), the gross amount of CIL is approximately £1,862,016, consisting £1,263,149 of Mayoral CIL and £598,867 of Borough CIL. It should be noted that this is an estimate, and the floor areas on approved drawings will be checked after planning approval has been obtained.

Community impact and equalities assessment

161. The council must not act in a way which is incompatible with rights contained within the European Convention of Human Rights
162. The council has given due regard to the above needs and rights where relevant or engaged throughout the course of determining this application.
163. The Public Sector Equality Duty (PSED) contained in Section 149 (1) of the Equality Act 2010 imposes a duty on public authorities to have, in the exercise of their functions, due regard to three "needs" which are central to the aims of the Act:
1. The need to eliminate discrimination, harassment, victimisation and any other conduct prohibited by the Act
 2. The need to advance equality of opportunity between persons sharing a relevant protected characteristic and persons who do not share it. This involves having due regard to the need to:
 - Remove or minimise disadvantages suffered by persons who share a relevant protected characteristic that are connected to that characteristic
 - Take steps to meet the needs of persons who share a relevant protected characteristic that are different from the needs of persons who do not share it
 - Encourage persons who share a relevant protected characteristic to participate in public life or in any other activity in which participation by such persons is disproportionately low
 3. The need to foster good relations between persons who share a relevant protected characteristic and those who do not share it. This involves having due regard, in particular, to the need to tackle prejudice and promote understanding.
164. The protected characteristics are: race, age, gender reassignment, pregnancy and maternity, disability, sexual orientation, religion or belief, sex, marriage and civil partnership. This development would provide a fully accessible work environment that would benefit those with disabilities. It would provide additional jobs, including through the construction phase and these would be targeted at local people. Unemployment in the borough disproportionately affects those in

BAME communities so this development would be likely to benefit those communities.

Human rights implications

165. This planning application engages certain human rights under the Human Rights Act 2008 (the HRA). The HRA prohibits unlawful interference by public bodies with conventions rights. The term 'engage' simply means that human rights may be affected or relevant.
166. This application has the legitimate aim of *commercial development*. The rights potentially engaged by this application, including the right to a fair trial and the right to respect for private and family life are not considered to be unlawfully interfered with by this proposal.

Positive and proactive statement

167. The council has published its development plan and Core Strategy on its website together with advice about how applications are considered and the information that needs to be submitted to ensure timely consideration of an application. Applicants are advised that planning law requires applications to be determined in accordance with the development plan unless material considerations indicate otherwise.
168. The council provides a pre-application advice service that is available to all applicants in order to assist applicants in formulating proposals that are in accordance with the development plan and core strategy and submissions that are in accordance with the application requirements.
169. **Positive and proactive engagement: summary table**

Was the pre-application service used for this application?	YES
If the pre-application service was used for this application, was the advice given followed?	YES
Was the application validated promptly?	YES
If necessary/appropriate, did the case officer seek amendments to the scheme to improve its prospects of achieving approval?	YES
To help secure a timely decision, did the case officer submit their recommendation in advance of the agreed Planning Performance Agreement date?	YES

CONCLUSION

170. The refurbishment and extension of this office building would help deliver key aspirations of the Southwark Plan including an increase in office space and jobs within the north of the borough, and the delivery of sustainable development that would contribute to the council's climate change policies. The development is of

a high design quality that would enhance its setting, which includes a number of significant heritage assets. There would be some harm to neighbouring amenity in terms of daylight impacts however as set out in paragraph 103 – the majority of windows meet BRE criteria or suffer minor to moderate adverse effect. But for the reasons set out above overall these harms are considered to be acceptable when balanced against the significant benefits the scheme would deliver. It is therefore recommended that planning permission be granted, subject to conditions, the timely completion of a S106 Agreement and referral to the Mayor of London.

BACKGROUND DOCUMENTS

Background Papers	Held At	Contact
Southwark Local Development Framework and Development Plan Documents	Environment and Leisure and Growth Department 160 Tooley Street London SE1 2QH	Planning enquiries telephone: 020 7525 5403 Planning enquiries email: planning.enquiries@southwark.gov.uk Case officer telephone: 0207 525 0254 Council website: www.southwark.gov.uk

APPENDICES

No.	Title
Appendix 1	Recommendation (draft decision notice)
Appendix 2	Relevant planning policy
Appendix 3	Planning history of the site and nearby sites
Appendix 4	Consultation undertaken
Appendix 5	Consultation responses received

AUDIT TRAIL

Lead Officer	Stephen Platts, Director of Planning and Growth	
Report Author	Zaib Khan, Team Leader	
Version	Final	
Dated	22 May 2023	
Key Decision	No	
CONSULTATION WITH OTHER OFFICERS / DIRECTORATES / CABINET MEMBER		
Officer Title	Comments Sought	Comments included
Strategic Director, Finance	No	No
Strategic Director, Environment, Neighbourhoods and Growth	No	No
Strategic Director, Housing	No	No
Date final report sent to Constitutional Team		25 May 2023

Recommendation

This document shows the case officer's recommended decision for the application referred to below.

This document is not a decision notice for this application.

Applicant	Pontsam Investments Ltd c/o Agent	Reg. Number	21/AP/4194
Application Type	Major application		
Recommendation		Case Number	1141-D

Draft of Decision Notice

for the following development:

Redevelopment of existing building including partial demolition and two storey upward extension to create eight-storey Class E building with installation of roof terraces, associated highway and landscaping works, cycle parking, refuse storage including plant facilities at roof level.

Minerva House 5 Montague Close London Southwark

In accordance with application received on 26 November 2021 and Applicant's Drawing Nos.:

- 1) AS APPROVED Proposed Plans

Proposed Plans

PROPOSED FOURTH FLOOR PLAN 18060-BAA-ZZ-04-PS-A-0204 received 31/10/2022

PROPOSED GROUND FLOOR PLAN 18060-BAA-ZZ-00-PS-A-0200 received 31/10/2022

SITE LOCATION PLAN 18060-BAA-ZZ-00-DR-A-0011 received 15/02/2022

SITE BLOCK PLAN 18060-BAA-ZZ-00-DR-A-0012 received 15/02/2022

Other 18060-BAA-ZZ-XX-PS-A-0403 received 31/10/2022

Other 18060-BAA-ZZ-XX-PS-A-0402 received 31/10/2022
Other 18060-BAA-ZZ-XX-PS-A-0401 received 31/10/2022
Other 18060-BAA-ZZ-XX-PS-A-0400. received 31/10/2022
Other 18060-BAA-ZZ-RL-PS-A-0209 received 31/10/2022
Other 18060-BAA-ZZ-B1-PS-A-0199 received 31/10/2022
Other 18060-BAA-ZZ-08-PS-A-0208 received 31/10/2022
Other 18060-BAA-ZZ-07-PS-A-0207 received 31/10/2022
Other 18060-BAA-ZZ-06-PS-A-0206 received 31/10/2022
Other 18060-BAA-ZZ-05-PS-A-0205 received 31/10/2022
Other 18060-BAA-ZZ-02-PS-A-0202 received 31/10/2022
Other 18060-BAA-ZZ-01-PS-A-0201 received 31/10/2022
Other 18060-BAA-ZZ-00-PS-A-0600 received 31/10/2022

Time limit for implementing this permission and the approved plans

2. The development hereby permitted shall be begun before the end of three years from the date of this permission.

Reason:

As required by Section 91 of the Town and Country Planning Act 1990 as amended.

Permission is subject to the following Pre-Commencements Condition(s)

3. Construction Environmental Management Plan

Prior to the commencement of any development, including any works of demolition, until a written Construction Environmental Management Plan has been submitted to and approved in writing by the Local Planning Authority. The CEMP shall oblige the applicant, developer and contractors to commit to current best practice with regard to construction site management and to use all best endeavours to minimise off-site impacts, and will include the following information:

- A detailed specification of demolition and construction works at each phase of development including consideration of all environmental impacts and the identified remedial measures;
- Site perimeter continuous automated noise, dust and vibration monitoring;
- Engineering measures to eliminate or mitigate identified environmental impacts e.g. hoarding height and density, acoustic screening, sound insulation, dust control measures, emission reduction measures, location of specific activities on site, etc.;
- Arrangements for a direct and responsive site management contact for nearby occupiers during demolition and/or construction (signage on hoardings, newsletters, residents liaison meetings, etc.)
- A commitment to adopt and implement of the ICE Demolition Protocol and Considerate Contractor Scheme;
- A commitment that all NRMM equipment (37 kW and 560 kW) shall be registered on the NRMM register and meets the standard as stipulated by the Mayor of London
- Site waste management - Accurate waste stream identification, separation, storage, registered waste carriers for transportation and disposal at appropriate destinations.

To follow current best construction practice, including the following:-

- o Southwark Council's Technical Guide for Demolition & Construction at <http://www.southwark.gov.uk/construction>
- o Section 61 of Control of Pollution Act 1974,
- o The London Mayors Supplementary Planning Guidance 'The Control of Dust and Emissions During Construction and Demolition',
- o The Institute of Air Quality Management's 'Guidance on the Assessment of Dust from Demolition and Construction' and 'Guidance on Air Quality Monitoring in the Vicinity of Demolition and Construction Sites',
- o BS 5228-1:2009+A1:2014 'Code of practice for noise and vibration control on construction and open sites. Noise',
- o BS 5228-2:2009+A1:2014 'Code of practice for noise and vibration control on construction and open sites. Vibration'

- o BS 7385-2:1993 Evaluation and measurement for vibration in buildings. Guide to damage levels from ground-borne vibration,
- o BS 6472-1:2008 'Guide to evaluation of human exposure to vibration in buildings - vibration sources other than blasting,
- o Relevant Stage emission standards to comply with Non-Road Mobile Machinery (Emission of Gaseous and Particulate Pollutants) Regulations 1999 as amended & NRMM London emission standards <http://nrmm.london/>

All demolition and construction work shall then be undertaken in strict accordance with the plan and relevant codes of practice, unless otherwise agreed in writing by the Local Planning Authority.

Reason

To ensure that occupiers of neighbouring premises and the wider environment do not suffer a loss of amenity by reason of pollution and nuisance, in accordance with the National Planning Policy Framework 2021; Southwark Plan 2022 policies P50 (Highways impacts), P56 (Protecting amenity), P62 (Reducing waste), P64 (Contaminated land and hazardous substances) P65 (Improving air quality) P66 (Reducing noise pollution and enhancing soundscapes); and London Plan 2021 policies T4 (Assessing and mitigating transport impacts), T7 (Deliveries, Servicing and Construction) and SI 1 (Improving Air Quality).

4. Demolition and Construction Vibration Management Plan (VMP)

No development shall take place, including any works of demolition, until a written VMP has been submitted to and approved in writing by the Local Planning Authority. The VMP shall oblige the applicant, developer and contractors to commit to current best practice with regard to construction site management and to use all best endeavours to minimise off-site impacts, and will include the following information:

- o A condition survey of Southwark Cathedral;
- o A thorough review of relevant legislation, British standards, code of construction practices' and relevant London best practice guidance documents;
- o A detailed specification of demolition and construction works at each phase of development including consideration of all environmental impacts and the identified remedial measures;
- o Continuous automated vibration monitoring at the site perimeter and at Southwark Cathedral, locations and levels to be agreed within the VMP;
- o Engineering measures to eliminate or mitigate identified vibration impacts;

- o Arrangements for a direct and responsive site management contact during demolition and construction;
- o A post works completion survey of Southwark Cathedral

To follow current best construction practice, including the following:-

- o Southwark Council's Technical Guide for Demolition & Construction at <http://www.southwark.gov.uk/construction>
- o Section 61 of Control of Pollution Act 1974,
- o BS 5228-1:2009+A1:2014 'Code of practice for noise and vibration control on construction and open sites. Noise',
- o BS 5228-2:2009+A1:2014 'Code of practice for noise and vibration control on construction and open sites. Vibration'
- o BS 7385-2:1993 Evaluation and measurement for vibration in buildings. Guide to damage levels from ground-borne vibration,
- o BS 6472-1:2008 'Guide to evaluation of human exposure to vibration in buildings - vibration sources other than blasting,

All demolition and construction work shall be undertaken in strict accordance with the approved VMP and other relevant codes of practice, unless otherwise agreed in writing by the Local Planning Authority.

Reason

To ensure that occupiers of neighbouring premises and the wider environment do not suffer a loss of amenity by reason of pollution and nuisance and to ensure that the architectural and historic significance of Southwark Cathedral is preserved in accordance with the Southwark Plan 2022 Policies P19 (Listed buildings and structures), P21 (Conservation of the historic environment and natural heritage) and P56 (Protection of amenity), and the National Planning Policy Framework 2021.

5. Site-Land Contamination

Prior to the commencement of any development, a phase 1 desktop study of the historic and current uses of the site and adjacent premises shall be carried out together with an associated preliminary risk assessment including a site walkover survey, identification of contaminants of the land and controlled waters and develop a conceptual model of the site with conclusion and recommendations whether a Phase 2 intrusive investigation is

required. This report shall be submitted to the Local Planning Authority for approval before the commencement of any intrusive investigations.

A) If the phase 1 site investigation reveals possible presence of contamination on or beneath the site or controlled waters, then, prior to the commencement of development works, an intrusive site investigation and associated risk assessment shall be completed to fully characterise the nature and extent of any contamination of soils and ground water on the site.

B) In the event that contamination is found that presents a risk to future users or controlled waters or other receptors, a detailed remediation and/or mitigation strategy shall be prepared and submitted to the Local Planning Authority for approval in writing. The strategy shall detail all proposed actions to be taken to bring the site to a condition suitable for the intended use together with any monitoring or maintenance requirements. The scheme shall also ensure that as a minimum, the site should not be capable of being determined as contaminated land under Part IIA of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation. The approved remediation scheme (if one is required) shall be carried out and implemented as part of the development.

C) Following the completion of the works and measures identified in the approved remediation strategy, a verification report providing evidence that all works required by the remediation strategy have been completed, together with any future monitoring or maintenance requirements shall be submitted to and approved in writing by the Local Planning Authority.

D) In the event that potential contamination is found at any time when carrying out the approved development that was not previously identified, it shall be reported in writing immediately to the Local Planning Authority, and a scheme of investigation and risk assessment, a remediation strategy and verification report (if required) shall be submitted to the Local Planning Authority for approval in writing, in accordance with a-d above.

Reason

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with policy P56 (Protection of Amenity) of the Southwark Plan (2022) and the National Planning Policy Framework (2021).

6. Operational Management Plan

Prior to the commencement of use of the roof terrace, an Operational Management Plan shall be submitted to and approved in writing by the local planning authority. The use of the roof terrace shall then, unless otherwise agreed by the local planning authority, comply with the terms of the Operational Management Plan at all times.

The Operational Management Plan shall include:

- The arrangements to manage the use of the roof terrace including oversight by a building manager;
- The arrangements to manage the number of people using the roof terrace at any one time so as to protect the amenity of neighbouring residents and to minimise noise and disturbance;

Reason

In order to ensure that the use of the terrace operates in a neighbourly way and is not harmful to the amenity of adjoining occupiers. In accordance with Policy P56 Protection of Amenity of the Southwark Plan 2022.

7. Prior to the commencement of development a drainage strategy detailing any on and or off site drainage works shall be submitted to and approved in writing by the Local Planning Authority in consultation with Thames Water. No discharge of foul or surface water from the site shall be accepted into the public systems until drainage works referred to in the strategy have been completed and the development shall not be carried out otherwise than in accordance with any such approval given.

Reason:

The development may lead to sewage flooding and to ensure that sufficient capacity is made available to cope with the new development and in order to avoid adverse environmental impact upon the community in accordance with Chapter 14 (Meeting the challenge of climate change, flooding and coastal change) of the National Planning Policy Framework (2021); Policy SI 13 (Sustainable drainage) of the London Plan (2021); P67 Reducing water use, P68 Reducing flood risk, P63 Land for waste management, P64 Contaminated land and hazardous substances of the Southwark Plan 2022.

8. Nesting Features

Prior to the commencement of any works, details of Swift nesting boxes / bricks shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of the use hereby granted permission. No less than 20 nesting boxes / bricks shall be provided and the details shall include the exact location, specification and design of the habitats. The boxes / bricks shall be installed with the development prior to the first occupation of the building to which they form part or the first use of the space in which they are contained. The Swift nesting boxes / bricks shall be installed strictly in accordance with the details so approved, shall be maintained as such thereafter. Discharge of this condition will be granted on receiving the details of the nest/roost features and mapped locations and Southwark Council agreeing the submitted plans, and once the nest/roost features are installed in full in accordance to the agreed plans. A post completion assessment will be required to confirm the nest/roost features have been installed to the agreed specification.

Reason

To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with Chapter 15 (Conserving and enhancing the natural environment) of the National Planning Policy Framework (2021); Policy G6 (Biodiversity and access to nature) of the London Plan (2021); P56 Protection of amenity, P57 Open space, P58 Open water space, P59 Green infrastructure, P60 Biodiversity, P66 Reducing noise pollution and enhancing soundscapes and P69 Sustainable standards of the Southwark Plan (2022).

9. Archaeological Public Engagement Programme

1) Prior to commencement of the development (excluding demolition and site investigation works) hereby permitted, the applicant shall submit to and receive the Local Planning Authority's approval of a Public Engagement Programme which shall set out:

a) How the field work areas will be hoarded to provide opportunities for passers-by to safely view the excavations;

b) Detailed drawings (artwork, design, text and materials, including their location and a full specification of the construction and materials) for the public interpretation and presentation display materials celebrating the historic setting of the site, which will be located on suitably visible public parts of the temporary site hoarding;

c) Details of at least one event, such as a heritage trail, that will be held during the field work phase (as a minimum this should state the date/time, duration, individuals involved and advance promotional measures for the event, and provide an outline of the content of the event);

2) Prior to the commencement of the fieldwork phase, the hoarding shall be installed in full accordance with the LPA-approved details referred to in parts a.1 and a.2 of the condition, and the hoarding shall remain as such and in place throughout the fieldwork phase.

3) During the fieldwork phase, the event (referred to in part 1.c) shall be carried out.

4) Before first occupation of any part of the development, detailed drawings (artwork, design, text and materials, including their location and a full specification of the construction and materials) for the public interpretation and presentation display materials celebrating the historic setting of the site, in some form of permanent display case or signage to be installed within a publicly-accessible part of the development hereby approved. The approved display case or signage shall be installed in accordance with the approval and shall not be replaced other than with a display case or signage of similar specification and bearing the same information.

Reason

To promote the unique setting of the application site and provide information on the special archaeological and historical interest of this part of Southwark, in accordance with Chapter 16 (Conserving and enhancing the historic environment) of the National Planning Policy Framework (2021); Policy HC1 (Heritage conservation and growth) of the London Plan (2021); P67: Reducing water use; P13: Design of places; P14: Design quality; P15; P19: Listed buildings and structures; P20: Conservation areas; P21: Conservation of the historic environment and natural heritage; P23: Archaeology; P24: World heritage sites and P25 River Thames of the Southwark Plan (2022).

10. ARCHAEOLOGICAL FOUNDATION DESIGN

Before any work hereby authorised begins, a detailed scheme showing the complete scope and arrangement of the foundation design and all ground works shall be submitted to and approved in writing by the Local Planning Authority and the development shall not be carried out otherwise than in accordance with any such approval given.

Reason:

In order that details of the foundations, ground works and all below ground impacts of the proposed development are detailed and accord with the programme of archaeological mitigation works to ensure the preservation of archaeological remains by record and in situ, in accordance with: the National Planning Policy Framework 2019; Policy P23 (Archaeology) of the Southwark Plan (2022).

11. PROGRAMME OF ARCHAEOLOGICAL MITIGATION

Before any work hereby authorised begins, the applicant shall secure the implementation of a programme of archaeological mitigation works in accordance with a written scheme of investigation, which shall be submitted to and approved in writing by the Local Planning Authority.

Reason:

In order that the details of the programme of works for the archaeological mitigation are suitable with regard to the impacts of the proposed development and the nature and extent of archaeological remains on site, in accordance with Chapter 16 (Conserving and enhancing the historic environment) of the National Planning Policy Framework (2021); Policy HC1 (Heritage conservation and growth) of the London Plan (2021); Strategic Policy 12 (Design and Conservation) of the Core Strategy (2011); and Saved Policy 3.19 (Archaeology) of the Southwark Plan (2007).and Policy P23 Archaeology) of the Southwark Plan (2022).

Permission is subject to the following Grade Condition(s)

12. Lighting Scheme

Prior to above grade works, details of all external lighting [including design, power and position of luminaries] and security surveillance equipment of external areas surrounding the building (including roof terraces) shall be submitted to and approved by the Local Planning Authority in writing before any such lighting or security equipment is installed. The development shall not be carried out otherwise in accordance with any

such approval given. Any external lighting system installed at the development shall comply with the Institute of Lighting Professionals (ILE) Guidance Note 1 for the reduction of obtrusive light (2020).

Reason

In order that the Council may be satisfied as to the details of the development in the interest of the visual amenity of the area, the safety and security of persons using the area and the amenity and privacy of adjoining occupiers in accordance with Chapter 8 (Healthy and safe communities) of the National Planning Policy Framework (2021); P56 Protection of amenity; P66 Reducing noise pollution and enhancing soundscapes, P15 Residential design, P16 Designing out crime, P13: Design of places and P14: Design quality of Southwark Plan (2022).

13. GREEN ROOFS FOR BIODIVERSITY

Part 1: Before any above grade work hereby authorised begins, details of the biodiversity (green/brown) roof(s) shall be submitted to and approved in writing by the Local Planning Authority. The biodiversity (green/brown) roof(s) shall be:

- biodiversity based with extensive substrate base (depth 80-150mm);
- laid out in accordance with agreed plans; and
- planted/seeded with an agreed mix of species within the first planting season following the practical completion of the building works (focused on wildflower planting, and no more than a maximum of 25% sedum coverage).

The biodiversity (green/brown) roof shall not be used as an amenity or sitting out space of any kind whatsoever and shall only be used in the case of essential maintenance or repair, or escape in case of emergency. The biodiversity roof(s) shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.

Part 2: Full Discharge of this condition will be granted once the green/brown roof(s) are completed in full in accordance to the agreed plans. A post completion assessment will be required to confirm the roof has been constructed to the agreed specification.

Reason:

To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with: Policies SI 4 (Managing heat risk), SI 13 (Sustainable drainage), G1 (Green Infrastructure), G5 (Urban Greening) of the London Plan 2021; Policy P59 (Green Infrastructure) and Policy P60 (Biodiversity) of the Southwark Plan (2022).

14. HARD AND SOFT LANDSCAPING

Before any above grade work hereby authorised begins, detailed drawings of a hard and soft landscaping scheme showing the treatment of all parts of the site not covered by buildings (including cross sections, available rooting space, tree pits, surfacing materials of any parking, access, or pathways layouts, materials and edge details), shall be submitted to and approved in writing by the Local Planning Authority. The landscaping shall not be carried out otherwise than in accordance with any such approval given and shall be retained for the duration of the use.

The planting, seeding and/or turfing shall be carried out in the first planting season following completion of building works and any trees or shrubs that is found to be dead, dying, severely damaged or diseased within five years of the completion of the building works OR five years of the carrying out of the landscaping scheme (whichever is later), shall be replaced in the next planting season by specimens of the equivalent stem girth and species in the first suitable planting season. Planting shall comply to BS: 4428 Code of practice for general landscaping operations, BS: 5837 (2012) Trees in relation to demolition, design and construction and BS 7370-4:1993 Grounds maintenance Recommendations for maintenance of soft landscape (other than amenity turf).

Reason:

So that the Council may be satisfied with the details of the landscaping scheme, in accordance with: Chapters 8, 12, 15 and 16 of the National Planning Policy Framework 2021; Policies SI 4 (Managing heat risk), SI 13 (Sustainable drainage), G1 (Green Infrastructure, G5 (Urban Greening) and G7 (Trees and Woodlands) of the London Plan 2021; Strategic Policies 11 (Open Spaces and Wildlife), 12 (Design and conservation) and 13 (High Environmental Standards) of The Core Strategy 2011, and; Saved Policies 3.2 (Protection of Amenity), 3.12 (Quality in Design) 3.13 (Urban Design) and 3.28 (Biodiversity) of the Southwark Plan 2007.

15. Landscaping Management

Before any above grade work hereby authorised begins, a landscape management plan, including long- term design objectives, management responsibilities and maintenance schedules for all landscaped areas (except privately owned domestic gardens), shall be submitted to and approved in writing by the local planning authority. The landscape management plan shall be carried out as approved and any subsequent variations shall be agreed in writing by the local planning authority.

Reason:

This condition is necessary to ensure the protection of wildlife and supporting habitat and secure opportunities for the enhancement of the nature conservation value of the site. This is an mandatory criteria of BREEAM (LE5) to monitor long term impact on biodiversity a requirement is to produce a Landscape and Habitat Management Plan.

16. GREEN WALLS

Before any above grade work hereby authorised begins, details of the green walls shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure works commencing on site. The wall shall not be used as an amenity or sitting out space of any kind whatsoever and shall only be used in the case of essential maintenance or repair, or escape in case of emergency.

The green wall shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter. Discharge of this condition will be granted on receiving the details of the Walls and Southwark Council agreeing in writing the submitted plans.

Reason:

To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with: Policies SI 4 (Managing heat risk), SI 13 (Sustainable drainage), G1 (Green Infrastructure), G5 (Urban Greening) of the London Plan 2021; Policy P59 (Green Infrastructure) and Policy P60 (Biodiversity) of the Southwark Plan (2022).

17. ECOLOGICAL MANAGEMENT PLAN

Before any above grade work hereby authorised begins, a landscape management plan, including long- term design objectives, management responsibilities and maintenance schedules for all landscaped areas (except privately owned domestic gardens), shall be submitted to and approved in writing by the local planning authority. The landscape management plan shall be carried out as approved and any subsequent variations shall be agreed in writing by the local planning authority.

Reason:

This condition is necessary to ensure the protection of wildlife and supporting habitat and secure opportunities for the enhancement of the nature conservation value of the site. This is an mandatory criteria of BREEAM (LE5) to monitor long term impact on biodiversity a requirement is to produce a Landscape and Habitat Management Plan.

18. SAMPLE MATERIALS/PANELS/BOARDS

Prior to above grade works commencing, material samples/sample-panels/sample-boards of all external facing materials to be used in the carrying out of this permission shall be [presented on site/submitted to] and approved in writing by the Local Planning Authority; the development shall not be carried out otherwise than in accordance with any such approval given.

Reason:

In order to ensure that these samples will make an acceptable contextual response in terms of materials to be used, and achieve a quality of design and detailing in accordance with Chapter 12 (Achieving well-designed places) of the National Planning Policy Framework (2021); Policy D4 (Delivering good design) of the London Plan (2021); Policy P13 (Design of Places) and Policy P14 (Design Quality) of the Southwark Plan (2022).

19. Detailed Design Sections

Prior to the commencement of any above grade work hereby authorised,, 1:5/10 typical section detail-drawings through all buildings facades; parapets; heads, cills and jambs of all openings; entrance lobbies; shop frontages; roof edges; details of typical window openings, terraces, roof gardens, soffits, entrances (inc servicing) and shopfronts to be

used in the carrying out of this permission shall be submitted to and approved in writing by the Local Planning Authority. The scope of details to be submitted to the Local Planning Authority shall be agreed prior to submission. The development shall not be carried out otherwise than in accordance with the approved details.

Reason:

In order that the Local Planning Authority may be satisfied as to the design and details in accordance with the National Planning Policy Framework 2021; Policy D4 - Delivering Good Design of the London Plan 2021; and Policy P14 - Design Quality of the Southwark Plan 2022.

20. CYCLE STORAGE DETAILS

Before any above grade work hereby authorised begins, details (1:50 scale drawings) of the facilities to be provided for the secure and covered storage of cycles shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the cycle parking facilities provided shall be retained and the space used for no other purpose, and the development shall not be carried out otherwise in accordance with any such approval given.

Reason: In order to ensure that satisfactory safe and secure cycle parking facilities are provided and retained in order to encourage the use of cycling as an alternative means of transport to the development and to reduce reliance on the use of the private car in accordance with Chapter 9 (Promoting sustainable transport) of the National Planning Policy Framework (2021); Policy T5 (Cycling) of the London Plan (2021); Policy P53 (Cycling) of the Southwark Plan (2022).

21. SECURITY MEASURES

Before any above grade work hereby authorised begins, details of security measures shall be submitted and approved in writing by the Local Planning Authority. Any such security measures shall be implemented prior to occupation in accordance with the approved details which shall seek to achieve the 'Secured by Design' accreditation award from the Metropolitan Police.

Reason:

In pursuance of the Local Planning Authority's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions and to improve community safety and crime prevention, in accordance with Chapter 8 (Promoting healthy and safe communities) of the National Planning Policy Framework (2021); Policy D11 (Safety, security and resilience to emergency) of the London Plan (2021); Policy P13 (Design of Places), Policy P14 (Design Quality) and Policy P16 (Designing out Crime) of the Southwark Plan (2022).

22. Plant Noise - Prior to commencement of above grade works.

The Rated sound level from any plant, together with any associated ducting, shall not exceed the Background sound level (LA90 15min) at the nearest noise sensitive premises. Furthermore, the Specific plant sound level shall be 10dB(A) or more below the background sound level in this location. For the purposes of this condition the Background, Rating and Specific Sound levels shall be calculated fully in accordance with the methodology of BS4142:2014+A1:2019.

Suitable acoustic treatments shall be used to ensure compliance with the above standard. A validation test shall be carried out and the results submitted to the Local Planning Authority for approval in writing to demonstrate compliance with the above standard. Once approved the plant and any acoustic treatments shall be permanently maintained thereafter.

Reason

To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance or the local environment from noise creep due to plant and machinery in accordance with the National Planning Policy Framework 2021 and with policy P66 (Reducing noise pollution and enhancing soundscapes) the Southwark Plan 2022, and policy D14 (Noise) of The London Plan (2021).

23. BREEAM REPORT AND POST CONSTRUCTION REVIEW

(a) Before any fit out works to the commercial premises hereby authorised begins, an independently verified BREEAM report (detailing performance in each category, overall score, BREEAM rating and a BREEAM certificate of building performance) to achieve a minimum 'excellent' rating shall be submitted to and approved in writing by the Local Planning Authority and the development shall not be carried out otherwise than in accordance with any such approval given;

(b) Before the first occupation of the building hereby permitted, a certified Post Construction Review (or other verification process agreed with the local planning authority) shall be submitted to and approved in writing by the Local Planning Authority, confirming that the agreed standards at (a) have been met.

Reason:

To ensure the proposal complies with Chapter 14 (Meeting the challenge of climate change, flooding and coastal change) of the National Planning Policy Framework (2021); Policy SI 2 (Minimising greenhouse gas emissions) of the London Plan (2021); Policy P69 (Sustainability Standards) and Policy P70 (Energy) of the Southwark Plan (2022).

Permission is subject to the following Pre-Occupation Condition(s)

24. **SERVICE MANAGEMENT PLAN** Before the first occupation of the building hereby permitted, a Service Management Plan detailing how all elements of the site are to be serviced shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approval given and shall remain for as long as the development is occupied.

Reason: To ensure compliance with: Chapter 9 (Promoting sustainable transport) of the National Planning Policy Framework (2021); Policy T7 (Deliveries, servicing and construction) of the London Plan (2021) and Policy P50 (Highways Impacts) of the Southwark Plan (2022).

25. **ELECTRIC VEHICLE CHARGER POINTS** Before the first occupation of the building hereby approved, details of the installation (including location and type) of at least two electric vehicle charger points within the car parking area shall be submitted to and approved in writing by the Local Planning Authority and the electric vehicle charger points shall be installed prior to occupation of the development and the development shall not be carried out otherwise in accordance with any such approval given.

Reason: To encourage more sustainable travel, in accordance with: Chapter 9 (Promoting sustainable transport) of the National Planning Policy Framework (2021);

Policy T6 (Car parking) of the London Plan (2021); Policy P50 (Highways Impacts) and Policy P69 (Sustainability Standards) of the Southwark Plan (2022).

26. BREEAM Assessment

(a) Before any fit out works to the commercial premises hereby authorised begins, an independently verified BREEAM report (detailing performance in each category, overall score, BREEAM rating and a BREEAM certificate of building performance) to achieve a minimum 'very good or excellent' rating shall be submitted to and approved in writing by the Local Planning Authority and the development shall not be carried out otherwise than in accordance with any such approval given;

(b) Before the first occupation of the building hereby permitted, a certified Post Construction Review (or other verification process agreed with the local planning authority) shall be submitted to and approved in writing by the Local Planning Authority, confirming that the agreed standards at (a) have been met.

Reason:

To ensure the proposal complies with Chapter 14 (Meeting the challenge of climate change, flooding and coastal change) of the National Planning Policy Framework (2021); London Plan 2021 Policy SI 2 (Minimising greenhouse gas emissions); and Southwark Plan 2022 policies P69 (Sustainability Standards) and P70 (Energy).

27. DETAILS OF THE SHOWERING FACILITIES Before the first occupation of the development, details of showering facilities to be provided for commercial units over 1000 sq.m shall be submitted to and approved in writing by the Local Planning Authority and thereafter the shower facilities shall be retained and the space used for no other purpose.

Reason: In order to ensure that satisfactory facilities are provided and retained in order to encourage the use of non-car based travel, in accordance with: Chapter 9 (Promoting sustainable transport) of the National Planning Policy Framework (2021); Policy T2 (Healthy streets) of the London Plan (2021); Policy P50 (Highways Impacts) and Policy P51 (Walking) of the Southwark Plan (2022).

28. Whole Life Cycle Carbon Assessment

Within 12 months of first occupation, a Whole Life Cycle Carbon Assessment demonstrating compliance with Part F of Policy SI 2 - Minimising greenhouse gas emissions of the London Plan 2021, shall be submitted and approved in writing by the Local Planning Authority. This assessment should calculate whole life-cycle carbon emissions through a nationally recognised Whole Life-Cycle Carbon Assessment and demonstrate actions taken to reduce lifecycle carbon emissions.

Reason

To maximise the reduction in greenhouse gas emissions and to minimise peak and annual energy demand in compliance with the NPPF 2021; Policy SI2 of the London Plan 2021; Policy P69 - Sustainability Standards and policy P70 Energy of the Southwark Plan 2022.

29. Prior to the occupation of the development a post construction monitoring report should be completed in line with the GLA's Circular Economy Statement Guidance. The post-construction monitoring report shall be submitted to the GLA, currently via email at: circulareconomystatements@london.gov.uk, along with any supporting evidence as per the guidance. Confirmation of submission to

the GLA shall be submitted to, and approved in writing by, the local planning authority, prior to occupation of the development.

Reason:

In the interests of sustainable waste management and in order to maximise the re-use of materials in accordance with the NPPF 2021; London Plan 2021 Policy SI 7 (Reducing waste and supporting the circular economy); and Southwark Plan 2022 Policy P62 (Reducing waste).

30. Before the first occupation of the extension hereby permitted begins, details of the arrangements for the storing commercial refuse shall be submitted to and approved in writing by the Local Planning Authority. Thereafter, the approved refuse storage facilities shall be provided and made available for use by the occupiers of the development and the facilities shall thereafter be retained and shall not be used or the space used for any other purpose.

Reason

To ensure that the refuse will be appropriately stored within the site thereby protecting the amenity of the site and the area in general from litter, odour and potential vermin/pest nuisance in accordance with Chapters 8 (Promoting healthy and safe communities) and 12 (Achieving well-designed places) of the National Planning Policy Framework (2021); Policy D4 (Delivering good design) of the London Plan (2021); Policy P62 (Reducing Waste) of the Southwark Plan (2022).

Permission is subject to the following Compliance Condition(s)

31. Roof Terrace Hours

The commercial roof terraces (which is not restricted to servicing only) shall only be used during the hours of:

- 09:00 to 20:00 Monday to Friday.

Use of the roof terrace is not permitted on weekends or public holidays.

Reason

To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance in accordance with policy P56 (Protection of Amenity) of the Southwark Plan (2022) and the National Planning Policy Framework (2021).

32. Hours of Operation

Any permitted use ground floor units of Use Class E(a) or Class E(b) shall only be permitted to open between the hours of:

- 0700 - 2200 Monday to Saturday and;

- 0900 - 2100 Sunday and public holidays

Reason

To safeguard the amenities of neighbouring residential properties in accordance with Chapter 8 (Promoting healthy and safe communities) of the National Planning Policy Framework (2021); London Plan 2021 Policy D4 (Delivering good design); and Southwark Plan 2022 Policy P56 (Protection of amenity).

33. Servicing hours

Any deliveries or collections shall only be between the following hours:

07.00 - 20.00hrs on Mon - Sat

10.00 - 16.00hrs on Sun

No deliveries or collections are permitted on public holidays.

Reason

To safeguard the amenity of neighbouring residential properties in accordance with The National Planning Policy Framework 2021 and policy P56 (Protection of Amenity) the Southwark Plan 2022.

34. The development must be carried out in accordance with the provisions of the Fire Statement prepared by Hoare Lea (ref: DOC-1921040-05-LC-20220920-Planning statement-Rev03), unless otherwise approved in writing by the Local Planning Authority.

Reason

To ensure that the development incorporates the necessary fire safety measures in accordance with the London Plan 2021 Policy D12 (Fire Safety).

35. Air Quality Assessment

The development must be carried out in accordance with the provisions of the Air Quality Assessment (ref: 10/12387, dated October 2021 by Hoare Lea), unless otherwise approved in writing by the Local Planning Authority. The relevant mitigation

measures should be incorporated into the Construction Environmental Management Plan.

Reason

To ensure that the development incorporates the necessary air quality measures and mitigations to address the impacts of poor air quality in accordance with P65 (Improving Air Quality) of the Southwark Plan (2022) and SI 1 (Improving Air Quality) of The London Plan (2021).

36. RESTRICTION ON THE INSTALLATION OF ROOF PLANT

No roof plant, equipment or other structures, other than as shown on the plans hereby approved or approved pursuant to a condition of this permission, shall be placed on the roof or be permitted to project above the roofline of any part of the building[s] as shown on elevational drawings or shall be permitted to extend outside of the roof plant enclosure[s] of any building[s] hereby permitted.

Reason:

In order to ensure that no additional plant is placed on the roof of the building in the interest of the appearance and design of the building and the visual amenity of the area in accordance with Chapter 12 (Achieving well-designed places) of the National Planning Policy Framework (2021); Policy D4 (Delivering good design) of the London Plan (2021); Policy P13 (Design of places), Policy P14 (Design quality) and P56 (Protection of amenity) of the Southwark Plan (2022).

37. RESTRICTION ON THE INSTALLATION OF TELECOMMUNICATIONS EQUIPMENT

Notwithstanding the provisions of Parts 24 and 25 The Town & Country Planning [General Permitted Development] Order 1995 [as amended or re-enacted] no external telecommunications equipment or structures shall be placed on the roof or any other part of a building hereby permitted.

Reason:

In order to ensure that no telecommunications plant or equipment which might be detrimental to the design and appearance of the building and visual amenity of the area is installed on the roof of the building in accordance with Chapter 12 (Achieving well-designed places) of the National Planning Policy Framework (2021); Policy D4 (Delivering good design) of the London Plan (2021); Policy P13 (Design of places), Policy P14 (Design quality) and P56 (Protection of amenity) of the Southwark Plan (2022).

38. Removal of Permitted Development Rights

Notwithstanding the provisions of Schedule 2 Part 3 Class O of the Town and Country Planning General Permitted Development Order (or amendment or re-enactment thereof) no change of operations should occur on site without seeking permission from the Local Planning Authority.

Reason:

To safeguard the character and the amenities of the premises and adjoining properties in accordance with Chapter 12 (Achieving good design) of the National Planning Policy Framework (2021); Policies D4 (Delivering good design) and HC1 (Heritage conservation and growth) of the London Plan (2021); policy P56 (Protection of Amenity) of the Southwark Plan (2022).

39. Commercial kitchen extract ventilation maintenance- standard

All components of the extraction system shall be cleaned, serviced, maintained and replaced at sufficient intervals to prevent degradation in performance of the system's components affecting surrounding amenity, and fully in accordance with manufacturer's recommendations.

Reason

In order to ensure that that any installed kitchen extraction system will not cause a loss of amenity by reason of odour or fume, in accordance with The National Planning Policy Framework 2021 and with the Southwark Plan 2022.

Permission is subject to the following Special Condition(s)

40. Within six months of the completion of archaeological site works, an assessment report detailing the proposals for post-excavation works, publication of the site and preparation of the archive shall be submitted to and approved in writing by the Local Planning Authority and that the works detailed in this assessment report shall not be carried out otherwise than in accordance with any such approval given.

Reason

In order that the archaeological interests of the site are secured with regard to the details of the post-excavation works, publication and archiving to ensure the preservation of archaeological remains by record in accordance with Chapter 16 (Conserving and enhancing the historic environment) of the National Planning Policy Framework (2021); Policy HC1 (Heritage conservation and growth) of the London Plan (2021); P67: Reducing water use; P13: Design of places; P14: Design quality; P15; P19: Listed buildings and structures; P20: Conservation areas; P21: Conservation of the historic environment and natural heritage; P23: Archaeology; P24: World heritage sites and P25 River Thames of the Southwark Plan (2022).

Informatives

- 1 Paragraph 3.12.9 of Policy D12 explains that Fire Statements should be produced by someone who is:

"third-party independent and suitably-qualified" The Council considers this to be a qualified engineer with relevant experience in fire safety, such as a chartered engineer registered with the Engineering Council by the Institution of Fire Engineers, or a suitably qualified and competent professional with the demonstrable experience to address the complexity of the design being proposed. This should be evidenced in the fire statement. The Council accepts Fire Statements in good faith on that basis. The duty to identify fire risks and hazards in premises and to take appropriate action lies solely with the developer.

The fire risk assessment/statement covers matters required by planning policy. This is in no way a professional technical assessment of the fire risks presented by the development. The legal responsibility and liability lies with the 'responsible person'. The responsible person being the person who prepares the fire risk assessment/statement

not planning officers who make planning decisions.

2 "A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 020 3577 9483 or by emailing trade.effluent@thameswater.co.uk . Application forms should be completed on line via www.thameswater.co.uk. Please refer to the Wholesale; Business customers; Groundwater discharges section.

3 Thames Water would advise that if the developer follows the sequential approach to the disposal of surface water we would have no objection. Management of surface water from new developments should follow Policy SI 13 Sustainable drainage of the London Plan 2021. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. Should you require further information please refer to our website. <https://developers.thameswater.co.uk/Developing-a-large-site/Apply-and-pay-for-services/Wastewater-servic>

4 "The proposed development is located within 15 metres of Thames Waters underground assets and as such, the development could cause the assets to fail if appropriate measures are not taken. Please read our guide 'working near our assets' to ensure your workings are in line with the necessary processes you need to follow if you're considering working above or near our pipes or other structures.<https://developers.thameswater.co.uk/Developing-a-large-site/Planningyour-development/Working-near-or-diverting-our-pipes>. Should you require further

information please contact Thames Water. Email:
developer.services@thameswater.co.uk Phone: 0800 009 3921 (Monday to Friday,
8am to 5pm) Write to: Thames Water Developer Services, Clearwater Court, Vastern
Road, Reading, Berkshire RG1 8DB

5 The proposed development is located within 15m of Thames Waters
underground assets, as such the development could cause the assets to fail if
appropriate measures are not taken. Please read our guide 'working near our assets'
to ensure your workings are in line with the necessary processes you need to follow
if you're considering working above or near our pipes or other structures.

[https://developers.thameswater.co.uk/Developing-a-large-site/Planning-
yourdevelopment/Working-near-or-diverting-our-pipes](https://developers.thameswater.co.uk/Developing-a-large-site/Planning-yourdevelopment/Working-near-or-diverting-our-pipes). Should you require further
information please contact Thames Water. Email:
developer.services@thameswater.co.uk

Relevant Planning Policy

National Planning Policy Framework (NPPF, 2021)

- Chapter 2 Achieving sustainable development
- Chapter 6 Building a strong, competitive economy
- Chapter 8 Promoting healthy and safe communities
- Chapter 11 Making effective use of land
- Chapter 12 Achieving well-designed places
- Chapter 16 Conserving and enhancing the historic environment

The London Plan (2021)

- Policy GG5 Growing a good economy
- Policy SD1 Opportunity Areas
- Policy SD4 The Central Activity Zone (CAZ)
- Policy SD5 Offices, other strategic functions and residential development in the CAZ
- Policy D1 London's form, character and capacity for growth
- Policy D3 Optimising site capacity through the design led approach
- Policy D4 Delivering good design
- Policy D5 Inclusive design
- Policy D10 Basement development
- Policy D11 Safety, security and resilience to emergency
- Policy D12 Fire safety
- Policy D14 Noise
- Policy E1 Offices
- Policy E3 Affordable workspace
- Policy HC1 Heritage conservation and growth
- Policy HC3 Strategic and local views
- Policy G5 Urban greening
- Policy SI1 Improving air quality
- Policy SI2 Minimising greenhouse gas emissions
- Policy SI7 Reducing waste and supporting the circular economy
- Policy SI13 Sustainable drainage
- Policy T5 Cycling
- Policy T6 Car Parking
- Policy T7 Deliveries, servicing and construction
- Policy DF1 Delivery of the Plan and Planning Obligations

Southwark Plan (2022)

- Policy P13 Design of places
- Policy P14 Design quality
- Policy P16 Designing out crime
- Policy P18 Efficient use of land
- Policy P19 Listed buildings and structures
- Policy P20 Conservation areas

- Policy P21 Conservation of the historic environment and natural heritage
- Policy P23 Archaeology
- Policy P25 River Thames
- Policy P30 Office and business development
- Policy P31 Affordable workspace
- Policy P50 Highway impacts
- Policy P51 Walking
- Policy P53 Cycling
- Policy P54 Car parking
- Policy P55 Parking standards for disabled people and the physically impaired
- Policy P56 Protection of amenity
- Policy P57 Open Space
- Policy P62 Reducing waste
- Policy P65 Improving air quality
- Policy P66 Reducing noise pollution and enhancing soundscapes
- Policy P68 Reducing flood risk
- Policy P69 Sustainability standards
- Policy P70 Energy
- Policy IP3 Community Infrastructure Levy (CIL) and Section 106 planning obligations

Planning History

Ref. No: 12/AP/1582 | Received: Wed 16 May 2012 | Validated: Fri 01 Jun 2012 | Status: Granted

Extension at roof level on eastern side of building for `sun room/gym' with creation of roof terrace for occupants of the building

Minerva House Montague Close London SE1 9DF

Ref. No: 14/AP/2744 | Received: Thu 31 Jul 2014 | Validated: Tue 09 Sep 2014 | Status: Granted

Installation of a wire suspended across the Thames between an anchor point on the roof of Minerva House and over an "A" frame anchored to the lift shafts on 1 Angel Lane for a period not exceeding 28 days for the purposes of the 'Sky Bike Challenge' event. Minerva House 5 Montague Close London SE1 9DF

Ref. No: 15/AP/4604 | Received: Tue 17 Nov 2015 | Validated: Tue 17 Nov 2015 Installation of a radio antenna on roof Minerva House 5 Montague Close London SE1 9AY

Consultation Undertaken

Site notice date: 17/01/2022

Press notice date: 30/12/2021

Case officer site visit date: n/a

Neighbour consultation letters sent: 11/11/2022

Internal services consulted

Archaeology

Community Infrastructure Levy Team

Design and Conservation Team [Formal]

Local Economy

Ecology

Environmental Protection

Highways Development and Management

Flood Risk Management & Urban Drainage

Transport Policy

Urban Forester

Waste Management

Statutory and non-statutory organisations

Environment Agency

Great London Authority

Historic England

London Fire & Emergency Planning Authori

Metropolitan Police Service (Designing O

Transport for London

Thames Water

London Fire & Emergency Planning Authori

Neighbour and local groups consulted:

Flat 12 Minerva House Montague Close
Flat 2 Minerva House Montague Close
Flat 2 Victor Wharf Clink Street
Flat 3 Victor Wharf Clink Street
Flat 5 3 Winchester Square London
Flat 9 Pontifex Wharf Apartments 36 Stoney Street
Flat 7 Pontifex Wharf Apartments 36 Stoney Street
Part First Floor And Part Second Floor 6-8 Borough High Street London
Ground Floor And First Floor 1 Cathedral Street London
Three Crown Square Borough Market 8 Southwark Street
10 Horseshoe Wharf Apartments 6 Clink Street London
15 Winchester Walk London Southwark
1A Bedale Street London Southwark
6 Pickfords Wharf Clink Street London
4 Pickfords Wharf Clink Street London
1 Pickfords Wharf Clink Street London
Second Floor Montague Chambers Montague Close
Railway Arches 2D And 2E Montague Close London
Kiosk London Bridge Walk London
Flat 3 Minerva House Montague Close
Flat 5 Minerva House Montague Close
Market Hall Borough Market 8 Southwark Street
Flat 11 Minerva House Montague Close
Flat 10 Minerva House Montague Close
Ground And First Floor East 1 London Bridge London
Flat 8 Victor Wharf Clink Street
Third Floor 6-10 Borough High Street London
Flat 4 Victor Wharf Clink Street
Second Floor 6-10 Borough High Street London
East London Liquor Company Borough Market 8 Southwark Street
Flat 12 Pontifex Wharf Apartments 36 Stoney Street

Ground Floor Palace House 3 Cathedral Street
First Floor 2 London Bridge London
Unit C 2 London Bridge London
9 Horseshoe Wharf Apartments 6 Clink Street London
Part Third Floor 10 Borough High Street London
Office A Second Floor 2 London Bridge London
Medicare First Ltd 2 London Bridge London
3 Bridge Arcade Green Dragon Court London
Basement Room B11 4 Borough High Street London
Flat 13 Evans Granary Apartments 38 Stoney Street
Flat 11 Evans Granary Apartments 38 Stoney Street
Flat 9 Evans Granary Apartments 38 Stoney Street
Second Floor Minerva House Montague Close
The Factory Winchester Wharf 4 Clink Street
7 Tennis Court 7 Winchester Square London
Flat 1 Winchester Wharf 5 Clink Street
Second Floor Rear 14 Winchester Walk London
Fifth Floor Soho Wharf 1 Clink Street
Green Market Borough Market 8 Southwark Street
Ground Floor Soho Wharf 1 Clink Street
3 Pickfords Wharf Clink Street London
2 Pickfords Wharf Clink Street London
Flat 11 Pontifex Wharf Apartments 36 Stoney Street
Flat 14 Evans Granary Apartments 38 Stoney Street
Flat 6 Tennis Court 7 Winchester Square
2 Winchester Wharf 4 Clink Street London
10 Tennis Court 7 Winchester Square London
Gift Shop Southwark Cathedral Montague Close
Flat 13 Victor Wharf Clink Street
Unit 24 Borough Market 8 Southwark Street
Ground Floor New Hibernia House Winchester Walk
Flat 1 16A Winchester Walk London

Penthouse Apartment Soho Wharf 1 Clink Street
Second Floor Rear And Basement Rooms B2 And B9 4 Borough High Street London
The Globe Tavern 8 Bedale Street London
3 Winchester Wharf 4 Clink Street London
Second Floor 8-10 Borough High Street London
14 Borough High Street London Southwark
The Mudlark Montague Close London
Flat 1 Pontifex Wharf Apartments 36 Stoney Street
Office B Fourth Floor 2 London Bridge London
Golden Hinde Mooring St Mary Overies Dock Cathedral Street
Flat 4 3 Winchester Square London
9 Tennis Court 7 Winchester Square London
Unit 55 Jubilee Place Borough Market 8 Southwark Street
Unit 53 Jubilee Place Borough Market 8 Southwark Street
Borough Market Kitchen Borough Market 8 Southwark Street
Arch 213 Stoney Street London
Unit 35 Borough Market 8 Southwark Street
Arch 251 Stoney Street London
Arch 215 Stoney Street London
Arch 208 Stoney Street London
Clink Prison Museum Soho Wharf 1 Clink Street
Apartment 1 Soho Wharf 1 Clink Street
Flat 1 Minerva House Montague Close
Conference Rooms Southwark Cathedral Montague Close
Flat 11 Victor Wharf Clink Street
Flat 5 Victor Wharf Clink Street
1 Tennis Court 7 Winchester Square London
Second Floor Soho Wharf 1 Clink Street
First Floor Soho Wharf 1 Clink Street
Third Floor And Fourth Floor 4 Borough High Street London
New Hibernia House Winchester Walk London
Second Floor East 1 London Bridge London

Flat 4 Pontifex Wharf Apartments 36 Stoney Street
Office A Fourth Floor 2 London Bridge London
Office A1 Third Floor 2 London Bridge London
Southwark Cathedral Montague Close London
Flat 7 Evans Granary Apartments 38 Stoney Street
Flat 5 Evans Granary Apartments 38 Stoney Street
5 Tennis Court 7 Winchester Square London
Flat 6 Victor Wharf Clink Street
Unit 43 Borough Market 8 Southwark Street
Arch 207 Stoney Street London
Third Floor Soho Wharf 1 Clink Street
Second Floor 1 Cathedral Street London
Part First Floor 6-8 Borough High Street London
1-3 Tooley Street London Southwark
5 Green Dragon Court London Southwark
Part Third Floor 6-8 Borough High Street London
The Ginger Pig Borough Market 8 Southwark Street
Grocers Of Borough Market Borough Market 8 Southwark Street
Flat 1 Evans Granary Apartments 38 Stoney Street
Railway Arch 2F Montague Close London
5 Winchester Wharf 4 Clink Street London
First Floor Warehouse F Winchester Square
Flat 7 Minerva House Montague Close
Apartment 2 Soho Wharf 1 Clink Street
Flat 6 16A Winchester Walk London
Unit 16B Borough Market 8 Southwark Street
Flat 6 Pontifex Wharf Apartments 36 Stoney Street
Ground Floor 2 London Bridge London
Part First Floor West Palace House 3 Cathedral Street
Flat 2 Evans Granary Apartments 38 Stoney Street
La Cave Restaurant 6-8 Borough High Street London
Part Ground And Second Floor Palace House 3 Cathedral Street

Flat 2 Winchester Wharf 5 Clink Street
9 Winchester Square London Southwark
Railway Arch 219-221 18 Stoney Street London
Flat 12 Victor Wharf Clink Street
Good Sixty Limited Borough Market 8 Southwark Street
11-12 Horseshoe Wharf Apartments 6 Clink Street London
Unit 41 Borough Market 8 Southwark Street
Arch 205 Stoney Street London
Flat 8 Evans Granary Apartments 38 Stoney Street
Basement Ground And First Floor Minerva House 5 Montague Close
Barrowboy And Banker 6-8 Borough High Street London
Flat 4 Minerva House Montague Close
City And Farmers Market Borough Market 8 Southwark Street
2-4 Bedale Street London Southwark
4 Bridge Arcade Green Dragon Court London
Third Floor Palace House 3 Cathedral Street
Flat 4 16A Winchester Walk London
6 Horseshoe Wharf Apartments 6 Clink Street London
1 Winchester Wharf 4 Clink Street London
Second Floor Front 14 Winchester Walk London
Middle Road Market Borough Market 8 Southwark Street
Ground Floor Warehouse F Winchester Square
Office A2 Third Floor 2 London Bridge London
Unit 27A Borough Market 8 Southwark Street
Cage 34A Borough Market 8 Southwark Street
Museum Ticket Office St Mary Overy Dock Cathedral Street
Flat 13 Tennis Court 7 Winchester Square
Ground Floor West Winchester Wharf 4 Clink Street
Marias Market Cafe Borough Market 8 Southwark Street
18 Winchester Walk London Southwark
First Floor 14 Winchester Walk London
Old Thameside Inn Pickfords Wharf Clink Street

5 Pickfords Wharf Clink Street London
Basement 1 Cathedral Street London
3 Green Dragon Court London Southwark
16C Winchester Walk London Southwark
Cold Store Borough Market 8 Southwark Street
Office B Second Floor 2 London Bridge London
Unit 1 Victor Wharf Clink Street
Synovate Minerva House 5 Montague Close
6 Bridge Arcade Green Dragon Court London
Third Floor Minerva House Montague Close
Arch 218 Stoney Street London
Flat 10 Pontifex Wharf Apartments 36 Stoney Street
Unit 1 Winchester Wharf 4 Clink Street
1 Bedale Street London Southwark
Flat 8 Pontifex Wharf Apartments 36 Stoney Street
Fifth Floor 2 London Bridge London
Ground Floor Rear East Bridge House 4 Borough High Street
Flat 6 Evans Granary Apartments 38 Stoney Street
Flat 4 Evans Granary Apartments 38 Stoney Street
3 Rochester Walk London Southwark
Flat 11 Tennis Court 7 Winchester Square
Flat 2 3 Winchester Square London
Flat 3 Winchester Wharf 5 Clink Street
First To Fifth Floors Pickfords Wharf Clink Street
Ground Floor 10 Borough High Street London
Ground Floor Front 4 Borough High Street London
Flat 6 Minerva House Montague Close
8 Horseshoe Wharf Apartments 6 Clink Street London
7 Horseshoe Wharf Apartments 6 Clink Street London
5 Horseshoe Wharf Apartments 6 Clink Street London
2 Horseshoe Wharf Apartments 6 Clink Street London
16 Borough High Street London Southwark

Borough Market 8 Southwark Street London
8 Pickfords Wharf Clink Street London
16B Winchester Walk London Southwark
Ground Floor Rear West Bridge House 4 Borough High Street
Part First Floor 6-10 Borough High Street London
Flat 6 3 Winchester Square London
Flat 3 Pontifex Wharf Apartments 36 Stoney Street
Fifth Floor 8 Montague Close London
Flat 12 Tennis Court 7 Winchester Square
Flat 10 Victor Wharf Clink Street
5 Bridge Arcade Green Dragon Court London
Flat 1 3 Winchester Square London
10 Montague Close London Southwark
Fourth Floor And Fifth Floor Minerva House Montague Close
Flat 2 16A Winchester Walk London
Fish Cathedral Street London
Flat 5 Pontifex Wharf Apartments 36 Stoney Street
6 Bedale Street London Southwark
Second Floor Front 4 Borough High Street London
Office B Third Floor 2 London Bridge London
Living Accommodation The Mudlark Montague Close
Flat 14 Victor Wharf Clink Street
Flat 8 Tennis Court 7 Winchester Square
Le Marche Borough Market 8 Southwark Street
Part Ground Floor Palace House 3 Cathedral Street
Studio 30 Soho Wharf 1 Clink Street
Apartment 3 Soho Wharf 1 Clink Street
Basement 6-10 Borough High Street London
Office C Second Floor 2 London Bridge London
Living Accommodation 8 Bedale Street London
1-2 Rochester Walk London Southwark
4 Winchester Wharf 4 Clink Street London

Flat 9 Victor Wharf Clink Street
Flat 1 Victor Wharf Clink Street
Golden Hinde Shop St Mary Overies Dock Cathedral Street
First Floor Front 4 Borough High Street London
1 Cathedral Street London Southwark
Unit 56 Jubilee Place Borough Market 8 Southwark Street
Unit 50 Jubilee Place Borough Market 8 Southwark Street
Jubilee Car Park 6 Winchester Walk London
14 - 16 Stoney Street London Southwark
Flat 3 16A Winchester Walk London
Lower Ground Floor Soho Wharf 1 Clink Street
Flat 3 3 Winchester Square London
Flat 2 Pontifex Wharf Apartments 36 Stoney Street
Basement 10 Borough High Street London
Unit 7 Borough Market 8 Southwark Street
Unit 1 Horseshoe Wharf Apartments 6 Clink Street
4 Horseshoe Wharf Apartments 6 Clink Street London
1 Horseshoe Wharf Apartments 6 Clink Street London
Flat 9 Minerva House Montague Close
40 Stoney Street London Southwark
Refectory Southwark Cathedral Montague Close
First Floor Rear 4 Borough High Street London
Flat 3 Tennis Court 7 Winchester Square
Part Second Floor 8-10 Borough High Street London
Fourth Floor Soho Wharf 1 Clink Street
Flat 8 Minerva House Montague Close
3 Horseshoe Wharf Apartments 6 Clink Street London
13 Horseshoe Wharf Apartments 6 Clink Street London
5 Bedale Street London Southwark
Glaziers Hall 9 Montague Close London
2 Cathedral Street London Southwark
The Rake 14A Winchester Walk London

7 Pickfords Wharf Clink Street London
Flat 12 Evans Granary Apartments 38 Stoney Street
Flat 5 16A Winchester Walk London
Floral Hall Market Borough Market 8 Southwark Street
Flat 4 Winchester Wharf 5 Clink Street
Flat 10 Evans Granary Apartments 38 Stoney Street
Flat 3 Evans Granary Apartments 38 Stoney Street
Roast At The Floral Hall Borough Market 8 Southwark Street
Messrs Drinks Cage Ltd Borough Market 8 Southwark Street
2 Tennis Court 7 Winchester Square London
2 London Bridge London Southwark
Borough Market Cathedral Street London
Flat 4 Tennis Court 7 Winchester Square
Flat 7 Victor Wharf Clink Street
2 Bridge Arcade Green Dragon Court London
Fourth Floor And Fifth Floor Palace House 3 Cathedral Street
Part First Floor Palace House 3 Cathedral Street
36A-36B Stoney Street London Southwark
Mei Mei Borough Market 8 Southwark Street

Consultation Responses Received

Consultation responses received

Internal services

Archaeology

Community Infrastructure Levy Team

Design and Conservation Team [Formal]

Local Economy

Ecology

Environmental Protection

Highways Development and Management

Transport Policy

Urban Forester

Statutory and non-statutory organisations

Environment Agency

Metropolitan Police Service (Designing O

Transport for London

Thames Water

Neighbour and local groups consulted:

115 Whites Grounds London SE1 3JX

Studio 1, Clink Wharf, Clink Street London

11 CARDIFF ROAD LUTON BEDFORDSHIRE

32 Benbow House 24 New Globe walk London

4 Meadow Lane Witney OX28 6DN

34 Little London Court, Mill Street London

9 Horseshoe Wharf Apartments 6 Clink Street London

7 Horseshoe Wharf Apartments 6 Clink Street London
Flat 5 Pickfords Wharf Apartments Clink Street
2 Horseshoe Wharf Apartments 6 Clink Street London
7 Horseshoe Wharf Apartments 6 Clink Street London
18 Maiden Lane London SE1 9HG
8 Maiden Lane London SE1 9HG
7 Perkins Sq London SE1 9HU
7 Porter Street London SE1 9HD
77 Park Street London SE1 9EA
6 Gatehouse Sq London SE1 9HN
Flat 10, 27 Park Street London SE1 9EA
Flat 9, 27 Park Street London SE1 9EA
Flat 8, 27 Park Street London SE1 9EA
345 Devon Mansions Tooley Street London
Flat 2, 27 Park Street London SE1 9EA
Flat 1, 27 Park Street London SE1 9EA
93 Park Street London SE1 9EA
85 Park Street London SE1 9EA
89 Park Street London Se1 9EA
99 Park Street London SE1 9EA
57 Park Street London SE1 9EA
72 Pynfolds Estate Jamaica Road London
57 Park Street London SE1 9EA
Flat 1, Thorold House Pepper Street London
Flat 19, Thorold House Pepper Street London
Flat 5, Sumner Buildings Sumner Street London
Flat 27, Sumner Buildings Sumner Street London
Flat 18, Thorold House Pepper Street London
83 Park Street London SE1 9EA
Flat 17, Thorold House Pepper Street London
Flat 16, Thorold House Pepper Street London
Flat 24, Sumner Buildings Sumner Street London

Fat 20, Thorold House Pepper Street London
Flat 13, Thorold House Pepper Street London
Flat 9, Sumner Buildings Sumner Street London
Flat 3, Thorold House, Pepper Street London SE1 0EL
Flat 11, Thorold House Pepper Street London
Flat 6, Sumner Buildings Sumner Street London
Flat 12, Sumner Buildings Sumner Street London
Flat 13, Sumner Buildings Sumner Street London
5 Porter Street London SE1 9HD
Flat 20, Sumner Building Sumner Street London
Flat 22, Sumner Buildings Sumner Street London
Flat 1, Thorold House Pepper Street London
Flat 7, Sumner Buildings Sumner Street London
Flat 10, Sumner Buildings Sumner Street London
Flat 11, Sumner Buildings Sumner Street London
87 Park Street London SE1 9EA
87 Park Street London SE1 9EA
57 Park Street London SE1 9EA
Flat 14, Thorold House Pepper Street Londob
3 Porter Street London SE1 9HD
77 Park Street London SE1 9EA
Flat 7, Thorold House Pepper Street London
Flat 4, Thorold House Pepper Street London
Flat 21, Sumner Buildings Sumner Street London
Flat 28, Sumner Buildings Sumner Street London
91 Park Street London SE1 9EA
1 Porter Street London SE1 9HD
85 Park Street London SE1 9EA
87 Park Street London SE1 9EA
Flat 4 3 Winchester stables Southwark
70 Chestnut Road London SE27 9LE
80 Temple Road Oxford OX4 2EZ

Flat 10, Minerva House 6 Montague Close Southwark / London
105 Globe View High Timber Street London
68 Sefton Drive Maghull Liverpool
136 GLOBE VIEW 10 HIGH TIMBER STREET LONDON
99 Redcross Way Flat 8 Hatters Court London
Flat 6 The Stables Winchester Walk London
68 Sefton Drive Maghull Liverpool
14 jamaica Road Bermondsey SE1 2RN
London River House Royal Pier Road Gravesend, Kent
46 Cleveland Road South Woodford London
1 Perkins sq London SE1 9HU
18 Maiden lane London SE1 9HG
14 Maiden Lane London SE1 9HG
81 Park street London SE1 9EA
12 Maiden Lane London SE1 9HG
89 Park street London SE1 9EA
99 Park street London SE1 9EA
1 Porter st London SE1 9HD
91 Park Street London SE1 9EA
83 Park Street London SE1 9EA
11 Perkins Sq London SE1 9HU
1 Perkins Sq London SE1 9HU
13 Perkins Square London SE1 9HU
4 Maiden Lane London SE1 9HG
14 Maiden Lane London SE1 9HG
2 Maiden Lane London SE1 9HG
15 Perkins Sq London SE1 9HU
2 Maiden Lane London SE1 9HG
73 Park Street London SE1 9EA
4 Maiden Lane London SE1 9HG
6 Maiden Lane London SE1 9HG
6 Maiden Lane London SE1 9HG

57 Park Street London SE1 9EA
2 Maiden Lane London SE1 9HG
2 Maiden Lane London SE1 9HG
12 Maiden Lane London SE1 9HG
24 Coriander Court 20 Gainsford Street London
Winckworth Sherwood Minerva House, 5 Montague Close London
73 Park Street London SE1 9EA
Flat 7, 27 Park Street London SE1 9EA
Flat 6, 27 Park Street London SE1 9EA
Flat 5, 27 Park Street London SE1 9EA
Flat 4, 27 Park Street London SE1 9EA
77 Park Street London SE1 9EA
Flat 3, 27 Park Street London SE1 9EA
Flat 2, 27 Park Street London SE1 9EA
81 Park Street London SE1 9EA
73 Park Street London SE1 9EA
Flat 25, Sumner Buildings Sumner Street London
Flat 25, Sumner Buildings Sumner Street London
Flat 26, Sumner Buildings Sumner Street London
Flat 12, Thorold House Pepper Street London
Flat 8, Thorold House Pepper Street London
Flat 2, Thorold House Pepper Street London
Flat 24, Sumner Buildings Sumner Street London
Flat 23, Sumner Buildings Sumner Street London
Flat 6, Sumner Buildings Sumner Street London
Flat 16, Sumner Buildings Sumner Street London
Flat 22, Sumner Buildings Sumner Street London
Flat 10, Thorold House, Pepper Street London SE1 0EL
5 Porter Street London SE1 9HD
Flat 17, Thorold House Pepper Street London
Flat 20, Sumner Buildings Sumner Street London
Flat 6 Thorold House Pepper Street London

Flat 26, Sumner Buildings Sumner Street London
Flat 29, Sumner Buildings Sumner Street London
Flat 9, Thorold House Pepper Street London
Flat 18, Thorold House Pepper Street London
Flat 1, Sumner Buildings Sumner Street London
57 Park Street London SE1 9EA
Flat 8, Sumner Buildings Sumner Street London
3 Porter Street London SE1 9HD
Flat 15, Thorold House Pepper Street London
Flat 19, Sumner Buildings Sumner Street London
Flat 4 Winchester stables Southwark
6 Firefall CT. The Woodlands 77380
Woodstock Midgham Green Reading
Flat 14, Sumner Buildings Sumner Street London
Flat 15, Sumner Buildings Sumner Street London
2 Sumner Street Sumner Buildings London
5 Porter Street London SE1 9HD
Flat 17, Sumner Buildings Sumner Street London
Flat 18, Sumner Street Sumner Buildings London
Flat 9, 6 montage close London Se1 9df
Flat 5 Pickfords Wharf Apts Clink Street London
16A Seaton Road London CR4 3ER
11 CARDIFF ROAD, LUTON, BEDFORDSHIRE LU1 1PP
Flat 9 6 Montague Close, London SE1 9DF
Flat 9 6 Montague Close London
9 Bedford Row London SE1 4GP
Bedford Row London SE1 4GP
419 West Argonne Drive St. Louis, MO USA 63122
Flat 33 43 Searles Road London
Flat 33 The Paragon 43 Searles Road London
Flat 9 6 Montague Close London
Flat 10, 6 Montague Close Southwark London

Studio 1 Clink Wharf Clink Street London
Flat 5 Pickfords Wharf Apts Clink Street white male
5 Winchester Wharf 4 Clink Street London
2 Horseshoe Wharf Apartments 6 Clink Street London
Flat 10 Minerva House 6 Montague Close London
Flat 9, 6 Montague Close London SE1 9DF
Flat 7 Pickfords Wharf Apartments Clink Street london
Barrington 5 The Grange Walton on Thames
Flat 5 Pickfords Wharf Apartments Clink St
195 Rugby Road Leamington Spa Warwickshire
6 Firefall Ct Spring, Texas USA 77380
MALTHOUSE FARM ROCKBOURNE FORDINGBRIDGE HANTS Rockbourne
35 Trinity Church Square london SE1 4HY
5 THE GRANGE MIDWAY, Midway Midway Walton-on-Thames
flat 9, 6 montague close london se1 9df
Flat B Clink Wharf Clink Street
Southwark Cathedral London Bridge London
701 OXO Tower Wharf South Bank London
Flat 9 6 Montague Close London
Flat 9 6 Montague Close London
35 Trinity Church Square London SE1 4HY
Barrington 5 The Grange Walton On Thames
14 Ocean Drive Worthing Sussex BN12 5QJ

Cannaregio 1798, Venice 30121 Italy
6 Firefall Court Spring TX USA
6 Firefall Court Spring TX USA
36 Stoney Street London
24 Greenwood Avenue San Rafael CA USA

Stoney Street London SE1

24 Hayles Street Elephant And Castle SE11 4SS

434 Weaver St, Larchmont NY 10538 USA

34 Holmesdale Rd London

11, old theatre court 123 park Street London

7 Steep Hill Streatham SW16 1UL

36 Stoney Street London SE1 9LB

Flat B, Clink Wharf Clink Street London

Flat 6 Kingfisher Court 8 Swan Street London